

The Peninsula

Architectural Design Guidelines

These guidelines serve as a special reference for the design concept for The Peninsula. For this community to reach its full potential, the enthusiastic participation of individual owners is essential.

A diligent effort has been made to thoroughly present information that should be interesting and useful to future owners and their architects or building designers.

The concept for this community is unique. Accordingly, these guidelines are intended to help you better understand and appreciate the many special details that will go into making The Peninsula so individual, and yet, compatible.

Prepared by:
The Peninsula at Eagles Pointe
Architectural Review Committee

DESIGN STANDARDS

A great deal of special care has been taken in the planning of The Peninsula. Detailed plans have been created to preserve the vegetation, topography, and the delicate balance of natural drainage systems and the lake.

All improvements that have been planned will be strategically implemented to minimize alteration to the land and impact to the ecosystems. This philosophy will be continued at all levels of development, including individual home sites.

We have included design standards and guidelines in the following sections to help you accomplish these goals. To ensure the adherence to these established standards and guidelines, an Architectural Review Committee (ARC) has been established to evaluate all proposed structures and site improvements to be constructed in Peninsula.

Architectural Review Committee

1. Scheduled Meetings
2. Submissions
3. Approval Process
 - Step 1: Preliminary Review
 - Step 2: Final Review
4. Final Submission Procedures
5. Future Improvements Review
6. Building Standards
 - a. Square Footage Requirements
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7. Construction Area Requirements

ARCHITECTURAL REVIEW COMMITTEE

An Architectural Review Committee (ARC) has been established to evaluate and approve all proposed structures and site improvements to be constructed in The Peninsula. No site work shall be permitted without approval from the ARC.

Scheduled Meetings

The regularly scheduled meetings of the Architectural Review Committee will be the 3rd Tuesday of each month. The owner, or his agent, may be requested to attend a regularly scheduled meeting if the Committee deems it necessary.

Submissions

Submissions to the Architectural Review Committee, whether preliminary or final, shall be complete submissions with (3) copies along with the Architectural Review Committee Checklist and shall be submitted no later than the 3rd Tuesday of each month prior to the month you wish to have your submission reviewed. This will give the Architectural Review Committee one month to meet and review your submission. For example, if you wish to have your submission reviewed and approved on the 3rd Tuesday of May, your submission must be received by the 3rd Tuesday of April.

We recommend that you select a professional residential design architect or building designer who will help submit your preliminary and final submissions. We recommend that you and your designer review The Peninsula Architectural Guidelines, the declaration of covenants, easements and restrictions for The Peninsula, and the property owners association regulations.

We require that you obtain a complete site plan (trees and topographical) made by a registered Georgia surveyor at a minimum scale of 1" = 20'-0" or 1/16" = 1'-0". This site plan will be submitted for final plan review. You may also refer to the Tax Commissioner web page on the Macon-Bibb County website to see an aerial view of your land lot along with the corresponding property record cards. This may help you prepare the preliminary site plan.

Approval Process

- **Preliminary Plan Review**

This first step allows an owner to submit the design and layout concept to the Architectural Review Committee for comments and suggestions. The Architectural Review Committee will either make recommendations or authorize proceeding to the next step. It is strongly advised to present preliminary plans prior to moving forward with final working drawings.

The following is required for minimum submission for preliminary plan review – 3 copies of the following:

1. The Architectural Review Committee Checklist.
2. Preliminary site plan: must address the formative considerations of building placement, relationship of adjacent homes, view corridors and access to the lot.
2. Exterior appearance (perspective, photographs, elevations showing roof pitches).
3. Exterior colors and materials: samples, photos and/or color charts are accepted.
4. Preliminary floor plan with all levels, including square footage breakdowns.

- **Final Plan Review**

This second step is concerned with working drawing content and aesthetic considerations. The Architectural Control Committee is not responsible for engineering design or code compliance.

The following is required for final review – 3 copies of the following:

1. The Architectural Review Committee Checklist.
2. Final Site Plan (stamped by a Georgia surveyor) at a minimum of 1" = 20'-0". Drawings to include:
 - a. North arrow and scale.
 - b. Property lines with dimensions and bearings.
 - c. Existing contours (2'-0" contour interval minimum).
 - d. Dwelling to be indicated as exterior walls with entry area and stairs delineated and roof and deck lines shown and noted.
 - e. Finished floor elevations (FFE) indicated.
 - f. Setback limits shown.
 - g. Building accurately located from property lines.
 - h. Location, dimensions and materials for walks and driveways.
 - i. Limits of construction activity (no grading, construction, traffic or storage of materials will be permitted beyond these limits).
 - j. Exterior light location and type (see lighting section).
 - k. Location of HVAC unit and trash enclosure with screening location for each.
 - l. Utility meter location(s).
 - m. Septic field location with Health Department approval.
 - n. At the time of final submission, the corners of the house should be staked on the lot in the proposed location with clearing limits for driveway. Trees greater than 6" in diameter to be removed should be flagged with optic orange surveyor's tape.

Submission Procedures

1. **Application Format:** Each submission must be accompanied by the required information outlined above in order to be scheduled for review. Complete submission shall be made no later than 3rd Tuesday of the prior month you wish to have your submission reviewed. The property owner and/or owner's agent may be asked to attend the Architectural Review Committee meetings to explain a submission.
2. **Application Fee:** An application fee of two hundred and fifty dollars (\$250.00) is required for each submission. This fee is payable upon submission for preliminary review. This should be paid to The Peninsula at Eagles Pointe POA.
3. **Application Submission:** Each submission, preliminary or final shall be either mailed certified mail to The Peninsula Architectural Review Committee or hand delivered to an Architectural Review Committee member.
4. **Reasons for disapproval:** Plans submitted for review, or any portion thereof, may be disapproved upon any grounds which are inconsistent with the general covenants and/or the architectural design guidelines, including purely aesthetic considerations so long as such grounds are not arbitrary or capricious.
After approvals have been given by The Peninsula Architectural Review Committee and before construction can begin, final building permits must be obtained from the proper authorities.
5. **Approval:** Final approval from the Committee shall be dated and in writing. It shall be effective for six (6) months after the approval. If construction is not commenced within six (6) months of approval, a new submission for final approval is required, with an additional submission fee.

Future Improvements Review

Any modification of existing improvements or construction of additional improvements affecting the exterior of the house must have prior approval of the Architectural Review Committee. A request for review with the Architectural Review Committee must contain:

1. Site plan of proposed improvements to scale.
2. Letter of intent with description and purpose of improvements.
3. Material and color samples (preferably to match existing materials).
4. Complete submission shall be made no later than the 3rd Tuesday of each month prior to Architectural Review Committee regular scheduled meeting.
5. An application fee for two hundred and fifty dollars (\$250.00) is required for each submission. This fee is payable upon submission for preliminary review. This should be paid to The Peninsula at Eagles Pointe POA.

BUILDING STANDARDS

A. Square Footage Requirements

1. Multi-Story Homes

- a. Minimum: 2200 sf heated and cooled (1st Floor) see note below
- b. Maximum: 8000 sf heated and cooled
4500 sf heated and cooled (1st Floor)
3500 sf heated and cooled (2nd Floor)

2. Single Story Homes

- a. Minimum: 2200 sf heated and cooled - see note below

Note: Open decks and basements shall not be counted in square footage figures. Full or partial basements (including walk-out basements) shall not be counted as a story in square footage figures. The square feet requirements do not include garages, covered

porches or other storages of unheated square feet. All houses must have at least one enclosed two car garage. Garages cannot be heated or cooled and considered within the square footage requirements. All square footage totals (whether minimum or maximum) are subject to Architectural Review Committee approval.

B. Building Height Requirements

Each building submitted for review will be analyzed according to topography and adjacent structures. Finished floor shall be a minimum of 24” above grade for uniform design purposes. Structure height is governed by restrictive covenants and your specific architectural style. In no case shall a single family home exceed two and one-half heated and cooled stories in height (excluding basement/walkout basement), or 45 feet above the finished floor elevation of the first floor.

CONSTRUCTION AREA REQUIREMENTS

It is required that all construction sites prior to construction beginning, have gravel drives and parking area in place. Construction vehicles will not be allowed to park on the side of the roadways. Port a potties and dumpsters are required on all lots during construction. Caution should be taken to avoid disturbing trees or parking over root systems. Erosion control methods such as siltation fences and/or screens should be used. Each builder must maintain a neat, organized and safe job site.

DESIGN GUIDELINES
ARCHITECTURAL AND SITE PLANNING

Architectural Planning

The following section outlines architectural features and building materials suggested for use in the planning of your Peninsula home. It is not the intent of the Architectural Review Committee to force residents into a strict, uniform building design. It is desired and intended that all homes complement a central theme and each other. In doing so, you will be assured that your significant investment of time and resources will be rewarded with an environment and quality of living that will be highly desirable.

We have included some design guidelines to help you accomplish these goals:

- Foundations
- Exterior Walls
- Garages (attached and detached)
- Windows and Dormers
- Shutters
- Doors
- Roofs
- Verandas, Porches and Galleries

Foundations

There are various types of foundation walls found in historic homes of the Macon/Bibb County Area. The solid perimeter foundation wall of brick or stone is the desired look. Brick or stone piers with lattice screening between the piers is not allowed. Solid brick or stone walls, or stucco over brick or stone walls, especially in raised or partial basement type construction will be acceptable. Artificial stone or flat stone veneers will be allowed. Perimeter lattice will not be permitted. Visually unsupported cantilevers will not be permitted. Foundation slab on grades

must be 24” minimum raised above grade with no concrete exposed, must be covered with brick, stone or stucco to achieve a raised floor level height.

Exterior Walls

All homes must have three architectural exterior materials of either Stone, Siding (no vinyl), Brick, or Stucco. No bright white exterior material will be approved. Any other materials will have to be approved by the Architectural Review Committee prior to construction.

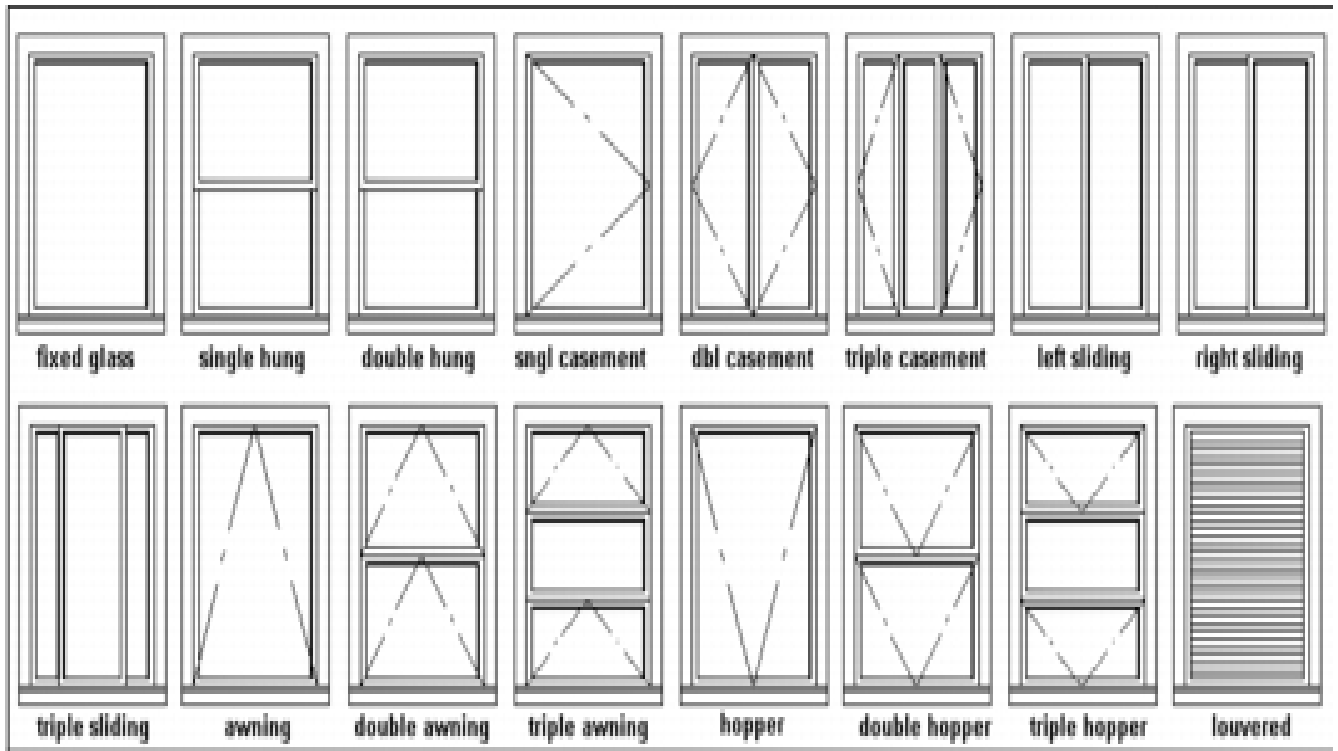
Garage (attached and detached)

All homes shall have at least two car attached and enclosed garage. Front entry access garages will not be approved. Detached garages can have one door and must match attached garage. It must also be enclosed with no front entry access. Garages will not count into the square footage of the house.

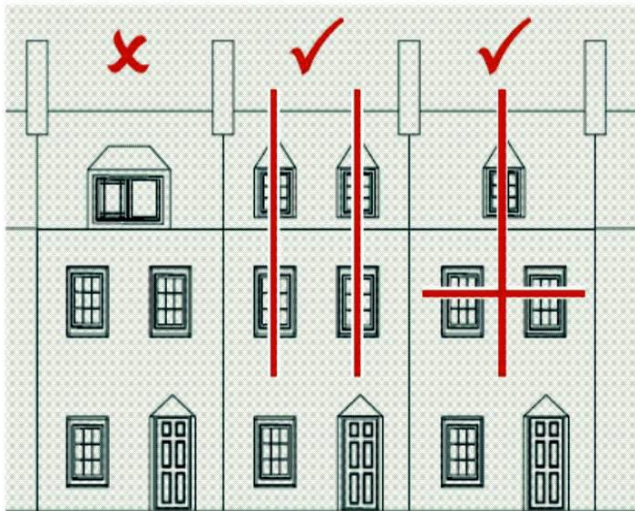
Windows and Dormers

Dormer roof pitches should be generally steep due to tradition and ease of construction methods. Dormers in the roof allow for window light and ventilation. The shed or “cat slide” dormer is the simplest design. Next comes the “gable” and the “hip” designs. A decorative expression for dormers is also introduced with the “circle head”. Sizes and types of dormers shall be appropriate to the architectural style of the building design.

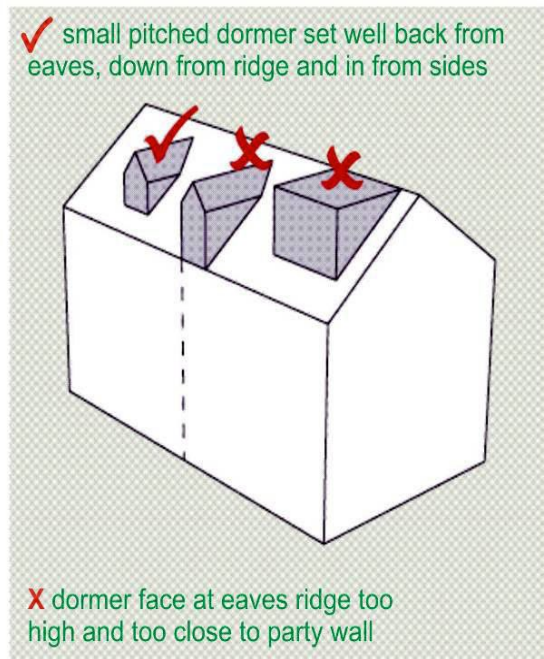
Windows shall be sizes, types, materials of wood/clad Pella, Anderson and Marvin are the standard but another of equal value may be used upon Architectural Review Board approval. No all vinyl windows are allowed. Designs must be appropriate for the architectural style of the home. While facades of the home which may be seen from the street should be “true” to the style selected, we encourage the use of appropriately designed expansive areas of glass in lake facades. The emphasis here should be on appropriately designed.



Window Types

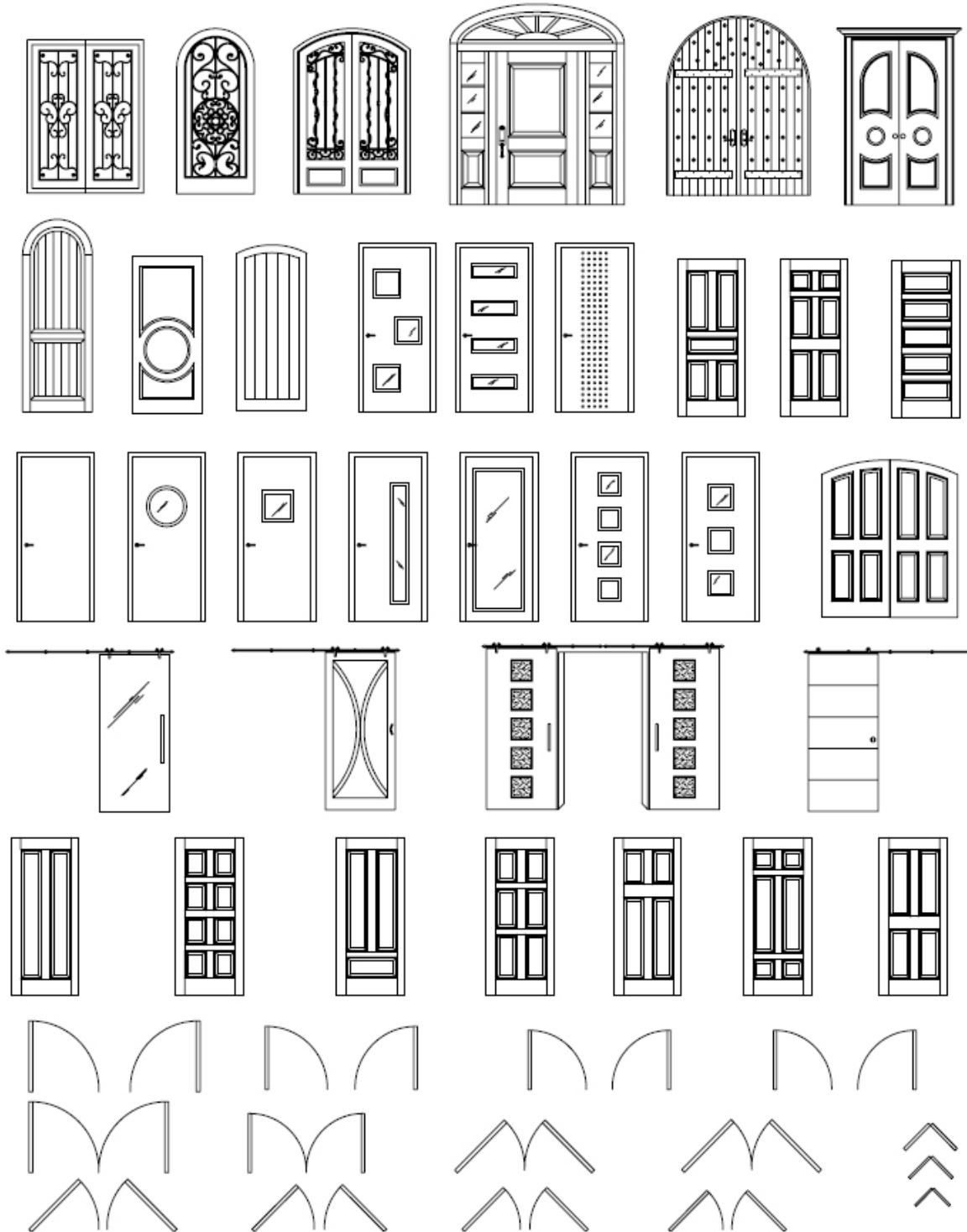


dormers should reflect the symmetry and size of other windows on the house. Often two small dormers are better than one large dormer.



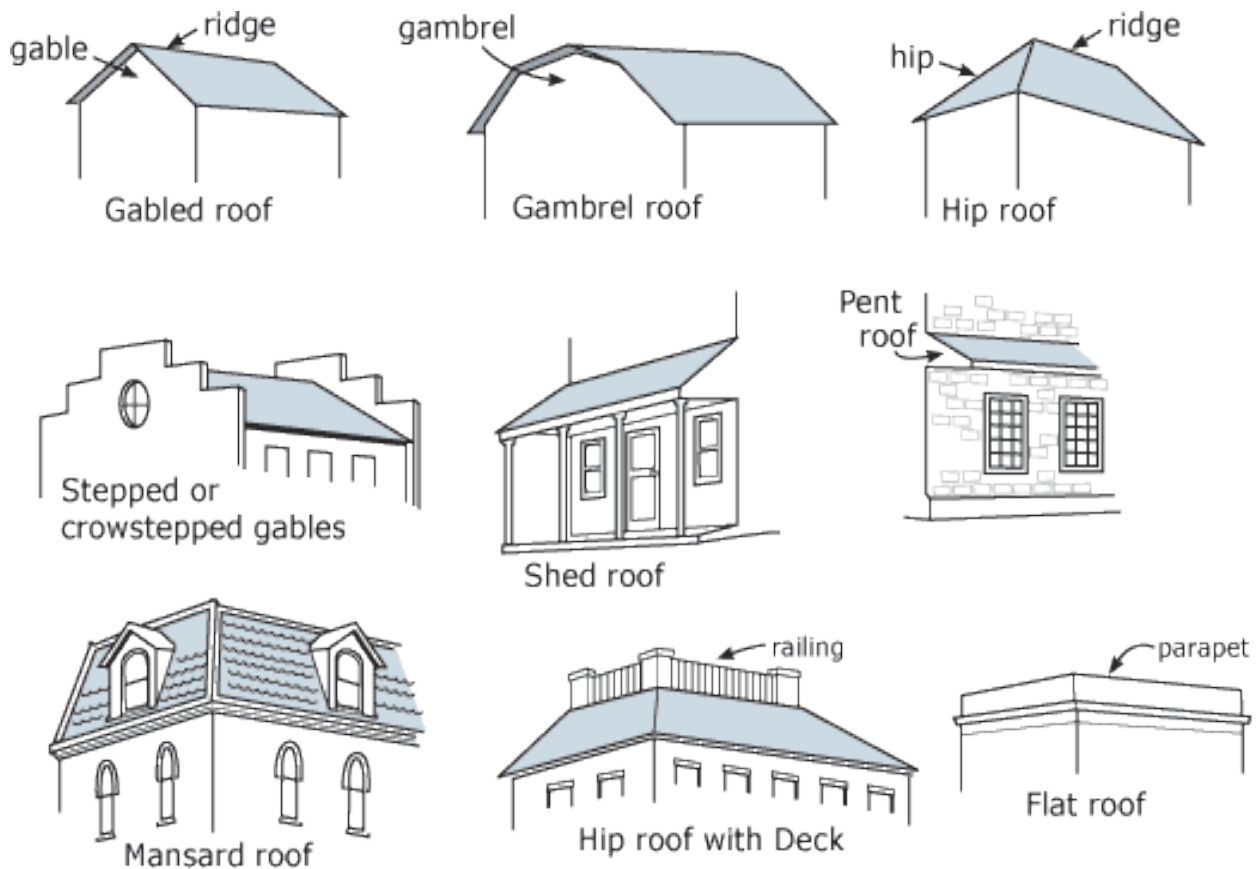
Doors

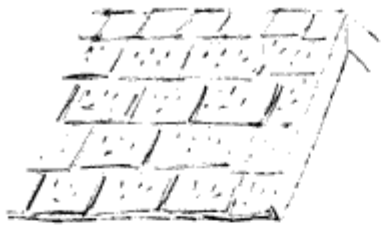
Exterior doors used in facades which can be seen from the street should be appropriate to the architectural style of the house. In large facades, we would encourage appropriately designed large glass windows. Suggested allowable doors are shown below.



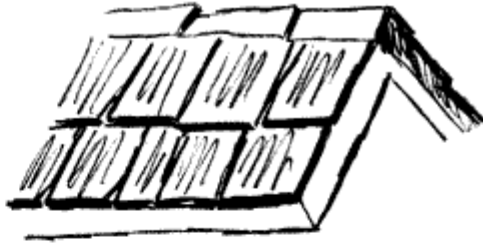
Roofs

There are a variety of roofing materials to choose from including composition (textured) shingles, slate, tile, and metal roofing (only on porches or deck roofs), either painted or coated. Traditional color should be used to avoid distracting from nature's surrounding colors or drawing one's eye away from the home design. Colors should keep the feeling of the overall façade design. Clay tile or metal roofing is subject to Architectural Review Committee approval depending on lot and lake location. A 8/12 pitch will be the minimum slope on any main portion (non-porch) of the roof. A flat pitch will only be allowed on porch or deck roofs. Slope of the pitch should facilitate a balanced visual impression in relationship to the body of the dwelling. All vent stacks, exhaust vents, or other protrusions shall be in inconspicuous locations and they shall be of a material which is unobtrusive (i.e. lead, gray, PVC or copper). All flashing at roofs and gutters should complement architecture design.

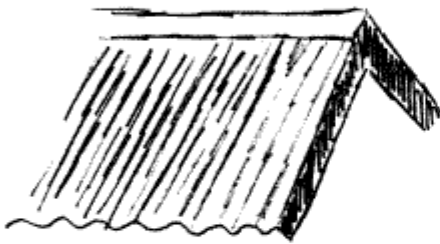




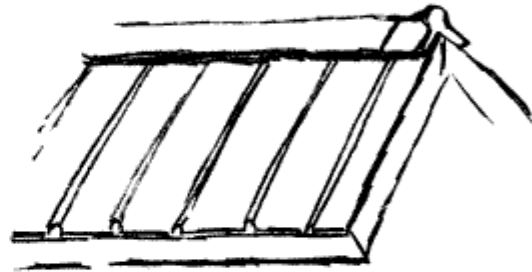
TAR PAPER/ASPHALT SHINGLES
(NOT USED)



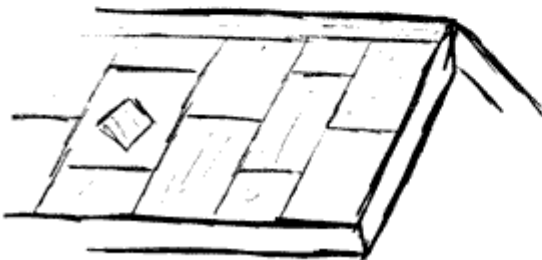
CEDAR SHAKE TYPE SHINGLES



CORRUGATED SHEET METAL



STANDING SEAM METAL ROOF



LAPPED TAR PAPER

The most popular type of roof in the United States is still the asphalt shingles, but there are many newer types and styles of roofs that may be approved. Galvanized corrugated sheet metal and lap tar paper are not acceptable.

Other Types of Roofs Approved:

Wood Shingles – One way to achieve a completely natural look on your home is with wood shingles which are one of the first roofing types available and continue to be available today. Wood shingles offer incredible insulation and usually last up to 30 years. A few of the downfalls of wood shingles is their high risk of fire and the risk of mold, mildew and termites damaging the roof.

Eco-Shake – Made purely from recycled materials, eco-shake allows you to have a natural looking roof that will last up to 50 years, holds up well in all climates, requires no maintenance and does not chip, fade or crack. The downside of eco-shake is the limited number of colors it is currently available in.

Rubber – Made to look just like wood shingles or shakes, rubber shingles are so similar to wood shingles that no one can tell unless they actually touch the shingles. These engineered rubber shingles are impact resistant, moisture resistant as well as resistant to insect damage and mold. Typically including a 50-year warranty, a rubber roof requires no maintenance. The downside of rubber roofing is the lack of studies done since it is a fairly new roofing material, so the true long term effects are not known yet.

Metal –Metal roofing is made from steel, aluminum or copper. Homeowners have many choices when it comes to choosing a style for the metal roof including smooth or textured styles. Metal roofs can withstand harsh weather, are fireproof and resists mold, mildew and insect damage.

Verandas, Porches and Galleries

Verandas are key elements for design in warm climates. When placed to take the advantage of prevailing breezes, the porch or veranda can be either a pleasant place to spend time or utilized to cool the house. Verandas range in shapes from ones which border the house on one side to those which circle the entire building. The elements that comprise the veranda, including columns, balusters, stairs and roofs, all vary with the architecture of the house. Veranda and stair balustrades are expressions of individual creativity and taste. Many reflect parts of furniture design. The Chippendale and picket are examples. The stairways to the verandas are frequently used in symmetrical fashion to each side of the dwelling, at the front center axis, or both.

Site Planning

The landscape design of each home site in The Peninsula offers the opportunity to exercise your individual commitment to preserving the native vegetation. Since total allowable clearing is limited, a natural quality will be present in all home sites. Nature has conveniently given us a basic outline of the plant material that thrives in the Lake Tobesofkee area. Preserving that gift and enhancing the setting for the residences is the goal for this section.

We have included some design guidelines to help you accomplish these goals.

As you begin to refine the layout of your grounds, it is important to understand the value of well-designed landscape. Not only will you be at home on your grounds, but you will be increasing the total value of your investment.

To coordinate each homeowner's plans with the intended landscape of The Peninsula, a cooperative effort is needed. Within the setback areas of each lot, along roadways and lake, we ask that each lot owner plant shrubbery and understory trees that will flower and/or provide color to enhance the scenery for all Peninsula residents.

Fences

Mailboxes

Pools

Driveways

Outdoor Lighting

Site Planning

Plant List

Trees

Tree Shapes

Shrubs

Shrub Shapes

Vines and Groundcovers

Mulch

Tree Preservation

Fences

Fences should be constructed of material, color, and detailing compatible with both the house and associated site elements, proposed and existing. A fence may enclose a back yard, screen trash receptacles and provide security for swimming pools. Invisible fence for dogs is encouraged rather than fencing. All fencing must be approved by the ARC. All fencing will have a maximum height of 5'-0" and set back 6'-0" from lot line and a planting bed must be placed to screen fencing from view. This landscaping must be maintained and appealing. Minimum 12"sq to maximum 24"sq posts shall be installed every 8'-0" of fencing to eliminate excessive runs. Finished side of the fence must face out.

All perimeter fencing on any lot throughout Peninsula at Eagles Pointe is prohibited. No vinyl or chain link-type fences will be allowed. No dog runs will be permitted.

Mailboxes

The Peninsula Architectural Review Committee has approved Imperial Mailbox System to be the standard for all lots. Imperial Mailbox System can be purchased through American Specialties on Mercer University Drive, Macon GA. Each owner may select from six styles. See attached.

Pools

All pools shall be in rear of homes and screened from adjacent property owners with approved fencing or landscaping materials. No white concrete decking will be allowed but rather a more natural color to blend with the surrounding natural elements.

Driveways

It is the goal of The Peninsula to limit the impervious cover of the ground to the minimum needed, especially around existing trees. Excessive areas for driveways will be discouraged. All driveways and parking areas must be surfaced. Surfaces such as stone, brick, colored/textured concrete, and stone pavers are recommended. Natural white concrete paving and asphalt are discouraged. Rock, dirt or gravel will not be approved.

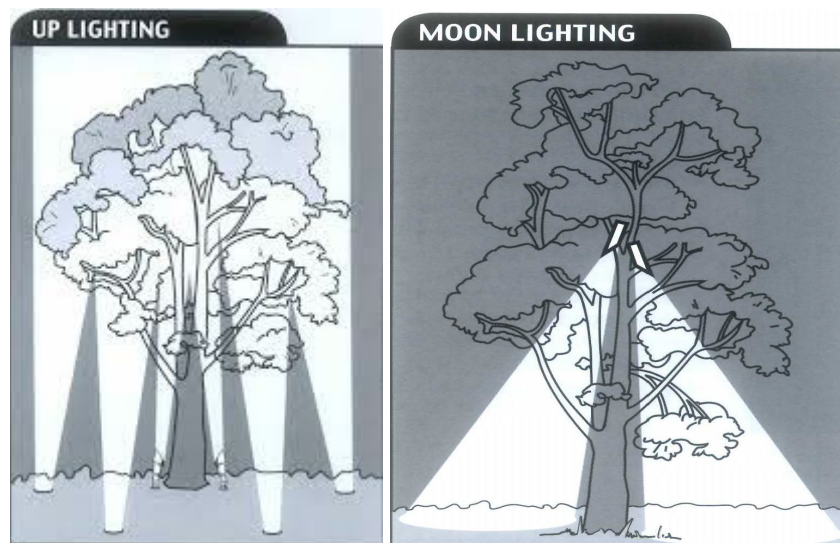
All parking areas must be screened from adjacent property owners with landscape materials. Drives must not block roadside drainage; therefore, appropriately sized culverts are required where necessary. All culverts should be landscaped or have small brick or stone headwalls to match the architecture design of the house. During construction, gravel must be used on drives and parking to limit the excess of dirt on the roads. All driveways must be completed at the end of construction and before certificate of occupancy is issued.

Outdoor Lighting

Outdoor lighting will be carefully reviewed to ensure that neighboring properties are protected from the view of obtrusive light sources. Whenever possible, functionally required lighting should be integrated into such features as steps, handrails, posts and curbs. Eave-mounted building floodlights are prohibited.

Pleasant accent effects can also be achieved through the use of landscape lighting. Accent spotlight fixtures provide low intensity but often dramatic illumination. Landscape lighting should be unobtrusive in appearance or hidden from view. Lights mounted in trees are encouraged, provided the light source is shielded.

Again, lighting should reflect the architectural character of each residence. Creative interpretation of traditional fixtures is encouraged.



Plant List

-Trees

Medium and Large Trees

Common Name		
American Beech	-	Scarlet Oak
American Holly		Shortleaf Pine
American Yellowwood		Shumard Oak
Bald Cypress		Slash Pine
Black Gum or Tupelo		Southern Magnolia
Black Walnut		Southern Red Oak
Chestnut Oak		Spruce Pine
Eastern Hemlock		Sugar Maple
Eastern Red Cedar		Sugarberry
Green Ash		Swamp Chestnut Oak or Basket Oak
Hickory Species		Sweetgum
Laurel Oak		Sycamore
Live Oak		Tulip Poplar or Yellow Poplar
Loblolly Pine		Virginia Pine
Longleaf Pine		Water Oak
Northern Red Oak		Willow Oak
Palmetto Palm or Cabbage Palm		White Ash
Post Oak		White Oak
Red Maple		White Pine
River Birch		Yellow Buckeye

Small Trees

Common Name	
American Hornbeam	- Loblolly Bay
Big-Leaf Magnolia	Mayhaw
Bigleaf Snowbell	Narrow-Leaf Crabapple
Buckthorn Bully	Ogeechee Lime, Ogeechee Tupelo
Carolina Buckthorn	Parsley Hawthorn
Carolina Silverbell	Possumhaw
Cherry Laurel	Red Bay
Downy Serviceberry	Sassafras
Eastern Hophornbeam	Sourwood
Eastern Redbud	Turkey Oak
Florida or Southern Sugar Maple	Two-Winged Silverbell
Flowering Dogwood	Washington Hawthorn
Fringetree or Grancy-Greybeard	Wild Olive, Devilwood
Georgia Oak	Yaupon Holly

Shrubs

Common Name	
Adam's Needle, Beargrass,	Mayberry
Spanish Bayonet, Threadleaf Yucca	Mountain Laurel
American Beautyberry	Mountain Stewartia
American Bladdernut	Needle Palm
American Snowbell	Oakleaf Hydrangea

Arrowwood Viburnum	Painted Buckeye
Black Titi, Buckwheat Tree	Pinckneya, Feverbark
Blackhaw Viburnum	Rabbiteye Blueberry Cultivars
Bottlebrush Buckeye	Red Basil, Scarlet Calamint
Button Bush	Red Buckeye
Common Witchhazel	Red Titi, Swamp Cyrilla
Darrow's Blueberry, Glaucous Blueberry	Rhododendron & Deciduous Azalea Species
Deerberry	Rhododendron, Evergreen Species
Devil's Walkingstick	Rusty Blackhaw
Drooping Leucothoe	Saw Palmetto
Dwarf Fothergilla	Small Anise-Tree, Yellow Anise-Tree
Dwarf Palmetto	Southern Highbush Blueberry
Fetterbush, Pipestem	Southern Wax Myrtle
Fetterbush	Sparkleberry
Florida Anise-Tree	Spice-Bush
Gallberry, Inkberry	Strawberry-Bush
Georgia Basil	Summersweet Clethra
Groundsel Bush	Swamp-Haw
Hillside Blueberry, Blue Ridge Blueberry	Sweetshrub
Honeycup	Virginia Sweetspire
Hoptree, Wafer-Ash	Winged Sumac
Horse-Sugar, Sweetleaf	Winterberry

Littlehip Hawthorn	Yellow-Root
Mapleleaf Viburnum	

Common Name	
Adam's Needle, Beargrass,	Mayberry
Spanish Bayonet, Threadleaf Yucca	Mountain Laurel
American Beautyberry	Mountain Stewartia
American Bladdernut	Needle Palm
American Snowbell	Oakleaf Hydrangea
Arrowwood Viburnum	Painted Buckeye
Black Titi, Buckwheat Tree	Pinckneya, Feverbark
Blackhaw Viburnum	Rabbiteye Blueberry Cultivars
Bottlebrush Buckeye	Red Basil, Scarlet Calamint
Button Bush	Red Buckeye
Common Witchhazel	Red Titi, Swamp Cyrilla
Darrow's Blueberry, Glaucous Blueberry	Rhododendron & Deciduous Azalea Species
Deerberry	Rhododendron, Evergreen Species
Devil's Walkingstick	Rusty Blackhaw
Drooping Leucothoe	Saw Palmetto
Dwarf Fothergilla	Small Anise-Tree, Yellow Anise-Tree
Dwarf Palmetto	Southern Highbush Blueberry

Fetterbush, Pipestem	Southern Wax Myrtle
Fetterbush	Sparkleberry
Florida Anise-Tree	Spice-Bush
Gallberry, Inkberry	Strawberry-Bush
Georgia Basil	Summersweet Clethra
Groundsel Bush	Swamp-Haw
Hillside Blueberry, Blue Ridge Blueberry	Sweetshrub
Honeycup	Virginia Sweetspire
Hoptree, Wafer-Ash	Winged Sumac
Horse-Sugar, Sweetleaf	Winterberry
Littlehip Hawthorn	Yellow-Root
Mapleleaf Viburnum	

Shrub Shapes



Oval



Spreading



Upright



Weeping



Rounded



Irregular

Vines and Groundcovers

Common Name		
American Wisteria	-	Lanceleaf Smilax, Sweet-Scented Smilax
Carolina Yellow Jessamine		Trumpet Honeysuckle
Climbing Hydrangea		Trumpet creeper
Crossvine		Virginia Creeper
Dwarf Smilax, Sarsparilla Vine		

When you choose specific plants, refer to the above plant list for selection. Those are indigenous to the area and will blend with the natural landscape. Specifically, this list has been developed by considering such factors as hardness, local availability, and ease of maintenance. It is not to be assumed that the list contains all acceptable plants.

- Mulch

- Pine Straw
- Shredded Bark
- Pine Bark Nugget
- No red or orange colors will be accepted

Tree Preservation

The conservation of as many existing trees as possible is desired. No tree with a diameter of 8 inches or larger may be removed without the consent of the ARC. Where necessary to raise the grade around an existing tree, soil should be prevented from coming in contact with the bark. If filling is required within the drip line, rock or drywall walling should be installed adjacent to the tree trunk. Additionally, vertically placed stacks of rock extending to the final grade and covering an area of 2/3 of the diameter of the drip line should be installed. If a tree is to survive, its roots, bark and leaves must be largely undamaged. Preserving trees may best be accomplished by preserving existing grade.

Natural Landscaping

Working with what the land has to offer is the key to creating a manmade environment that exists in harmony with nature. The landscape as it exists in its present state is an asset. Various microclimatic features can be optimized and expanded upon to create an energy-efficient home and comfortable outside use areas.

Wind patterns are important to note when creating an energy conscious landscape. In situations where existing trees block breezes that would potentially cool during the summer, selective pruning is advocated. Tree canopy can be thinned to allow the sun and breezes to pass through. The goal is to let the existing land and landscape do the work for you with minimal disruption. Full coverage lawns are discouraged in The Peninsula. Any lawns must be approved by the Architectural Review Committee.