

#### WELCOME TO PENINSULA AT EAGLES POINTE

Dear Lot Owner,

Welcome to the neighborhood! We are confident you will love it here.

This packet contains essential documents and information about processes you need to know as a property owner to gain approval to build your home. Please take time to review the **Neighborhood Covenants** and amendments, the **Architectural Design Guidelines**, and the **New Build Procedures Packet (PDF)** located on our *Rules and Guidelines* page on our website at <a href="https://peninsulaateaglespointe.com/rules/">https://peninsulaateaglespointe.com/rules/</a>. These procedures will help to guide you through the process from beginning to end.

#### **Architectural Review Committee (ARC) Guidelines**

The ARC Guidelines and checklist outline the requirements for the building process. There are two review processes; a preliminary plan review to confirm the house plan complies with all ARC guidelines and covenants, and a final plan review to confirm any plan modifications, the final site plan, builder, insurance, and septic system approval.

#### **Preliminary Plan Review**

To begin the approval process, you must submit your Preliminary Plan Review form with your application fee of \$250 payable to the Peninsula Owner's Association (POA). Preliminary plans can be submitted to any Board member via email or in person. The review process is straightforward as long as the plans comply with the ARC guidelines and covenants. These documents are included in this packet or on our website at <a href="https://peninsulaateaglespointe.com/rules/">https://peninsulaateaglespointe.com/rules/</a>.

#### **Final Plan Review**

Once you are ready to break ground, you must submit your Final Plan Review with your \$1,000.00 impact fee, payable to Peninsula Owner's Association (POA). The impact fee goes directly into a trust account for future road improvements. If you have questions regarding either submission, please feel free to contact any board member for assistance. These documents are included in this packet or on our website at <a href="https://peninsulaateaglespointe.com/rules/">https://peninsulaateaglespointe.com/rules/</a>.

#### Vehicle Decals

You will need to complete the vehicle decal request form to receive your decals to access the subdivision. The first two decals are provided to lot owners. Additional decals may be purchased for \$10 each (not to exceed six total decals). Please fill out the Decal Request Form (in this packet or on our website at <a href="https://peninsulaateaglespointe.com/decal-application/">https://peninsulaateaglespointe.com/decal-application/</a>), and submit your form via the <a href="mailto:peninsulaateaglespointe@gmail.com">peninsulaateaglespointe.com/decal-application/</a>), and submit your form via the <a href="mailto:peninsulaateaglespointe@gmail.com">peninsulaateaglespointe@gmail.com</a> email. All visitors are welcome and asked to contact you through the call box for access.

#### **Mailbox Access**

Once your plan is approved and you begin building, you may request mailbox access. Please submit your mailbox request via the <a href="mailto:Peninsualateaglespointe@gmail.com">Peninsualateaglespointe@gmail.com</a> email.

#### **Current Board Members:**

Mitchell Turner, President, 478.259.5714

Jessica Edmonds, Vice President, 478.320.7443

Alyssa Syribeys, Secretary, Peninsulaateaglespointe@gmail.com

Beth Knaus, Treasurer, Peninsulaateaglespointe@gmail.com

Lisa Newman, Mailbox, Website, Peninsulaateaglespointe@gmail.com

Brett Newman and Eddie Sasser, Architectural Review Committee (ARC), Peninsulaateaglespointe@gmail.com

Eddie and Nikki Sasser, gate and vehicle decals Peninsulaateaglespointe@gmail.com

The Board communicates with owners via email multiple times a year, so please update your contact information as needed to stay connected. Our annual homeowner's meeting happens every August, so be on the lookout for meeting information. All of the above information is located on our website, www.peninsulaateaglespointe.com.

We look forward to having you in our neighborhood, and we hope you have a smooth building process!

Sincerely,

The Peninsula at Eagles Pointe Board



# NEW BUILD/IMPROVEMENT PROCEDURES

- 1. Contact Alyssa Syribeys (Secretary) at peninsulaateaglespointe@gmail.com to provide your contact information, including your phone number and email.
- 2. Review the Covenants and ARC Guidelines on the website: https://peninsulaateaglespointe.com/rules/
- 3. Complete the ARC Committee Checklist/Preliminary Plan Review/Improvement form once you have your final house plans along with the following:
  - Completed and signed New Build/Improvement form
  - \$250.00 check made out to the POA Board.
  - Site Plan (see the checklist for details)
  - House plans
- 4. Once the Preliminary Plan Review/Improvement form is approved by the Board, you can submit the Final Plan Review along with the following:
  - Completed and signed form Final Plan Review form
  - \$1,000.00 check (impact fee) made out to the POA Board
  - Complete set of house plans
  - Builder's Name and License Number
  - Copy of Builder's Insurance
  - Your Builder's Risk Iinsurance
  - Septic Approval from the Health Department
  - Stake all corners of the house by the time of submission
- 5. Once the Final Plan Review is approved, sign and submit the Peninsula Owner Builder Approval Acknowledgment form.

Congratulations! You may begin building your new home. If you have any questions regarding the above procedures, please reach out to any board member.



## OWNER AND BUILDER PLAN APPROVAL ACKNOWLEDGEMENT

### Congratulations!

The Architectural Review Committee has approved your plan submissions and has granted you and your builder permission to begin building your new home in The Peninsula at Eagles Pointe.

Please review the Restricted Covenants, the Amendments to the Covenants, and the Architectural Review Guidelines as you are expected to adhere to all provisions set forth in all three documents.

As noted in the Covenants, Page 11, 5.1 "damage to the subdivision road caused directly by any construction by or other activities of a particular Lot Owner shall be the responsibility of said Owner to repair".

The Board is here to assist you in any way. Please do not hesitate to call on us as needed.

subdivision during construction must be repaired by Lot Owner in a timely manner.

Lot Owner	Date	

Date

Sign below assuring you have reviewed all the documents and are aware that any damage in the



### PRELIMINARY/IMPROVEMENT PLAN REVIEW

## **Architectural Review Committee (ARC) Checklist**

To assist in preparing and submitting your submissions to the ARC, please complete the following:

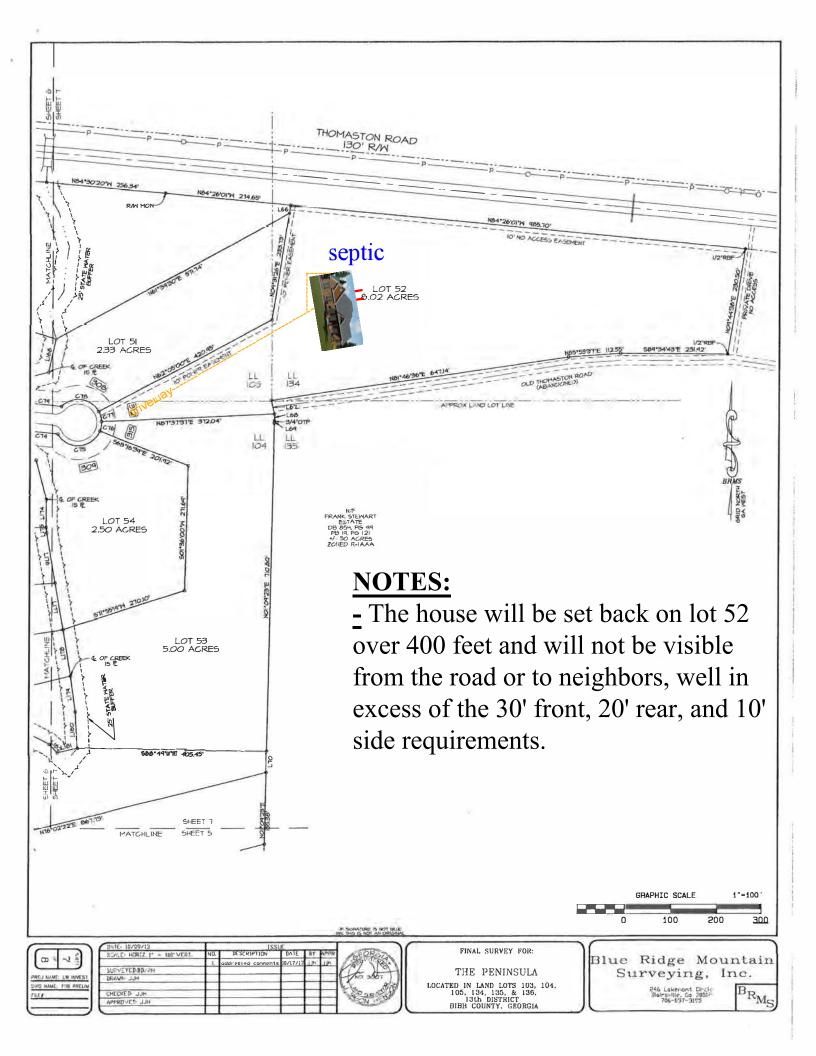
<b>Property Owner</b> (	(s)	
Names		Lot Number
Address		
Phone Numbers	Home	Work
	Cell	Cell
Date of Prelimina	ary Plan Review	Submission
This ARC C	hecklist complete	ed and attached to a copy of the following:
Preliminar	ry Site Plan	
		operty with the location of new construction clearly marked on ses to property boundaries and relationship of adjacent homes
	me, driveway loc uld be clearly sho	eation, septic field location, utility locations, and setbacks
Ext	terior materials a	nd colors – may be samples, photos and /or charts
App	plication Fee of \$	250.00 made out to The Peninsula at Eagles Pointe POA
House Plan	ns or Improvem	ent Plans
Floo	or plans with squa	are footage breakdowns for all levels
Exte	erior appearance	and elevations of all 4 sides showing roof pitch
Exte	erior materials an	d colors – may be samples, photos and /or charts
App	olication Fee of \$2	250.00 made out to The Peninsula at Eagles Pointe POA
Having attached a application for Bo		cumentation and application fee, I hereby submit my oproval.
Property Owner		Dota
Property Owner		Date
POA Board Appl Date	roval Signature:	



## FINAL PLAN/IMPROVEMENT REVIEW

## **Architectural Review Committee (ARC) Checklist**

Property Owner(s	<b>z</b> )	
Names		Lot Number
Address		
Phone Numbers	Home	Work
	Cell	Cell
Date of Final Plar	n/Improvement R	eview Submission
This ARC Cl	necklist completed	and attached to a copy of the following:
Final S	Site Plan	
House	Plans or Improve	ment Plans which include a full set of drawings
Builde	ers Name	Contractor's license #
Copy o	of Builders Insurar	nce
Copy (	of <b>your</b> Builder's l	Risk Insurance
Health	Department appro	oval for septic system
All co	rners of the new co	onstruction must be staked at time of submission
Exterio	or materials and co	plors – may be samples, photos and /or charts
deposition of final	itedinto the HOA t	made out to The Peninsula at Eagles Pointe POA to be crust account for road improvements after ARC approval not apply to improvements such as pools, fencing, other
Having attached al application for revi	-	ntation and Impact fee, I hereby submit my
Property Owner		Date
POA Board Appr Date S	oval lignature:	Title:



Windows: YKK Tan vinyl window with no grills Trim: Ivory Column and Shutter Stain: Espresso

Brick: **Cherokee Mosstown** with Ivory Mortar

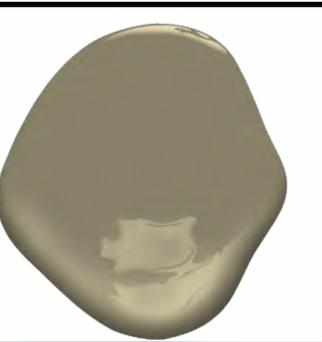


NOTE: COLORS AND STYLES MY BE DIFFERENT THAN DEPICTED HERE

Weathered Wood



Eaves: **HC-106 Crownseville Gray** 

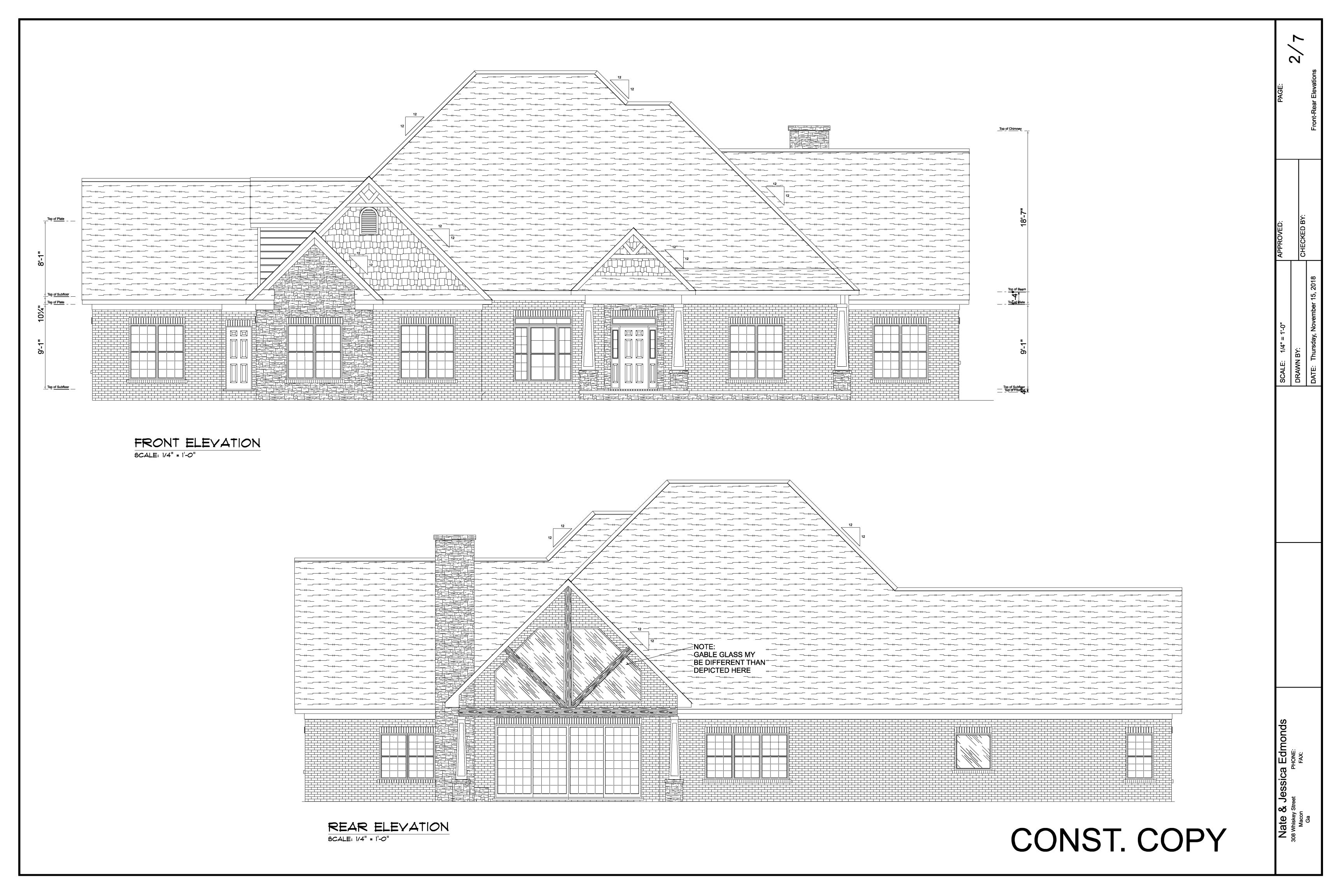


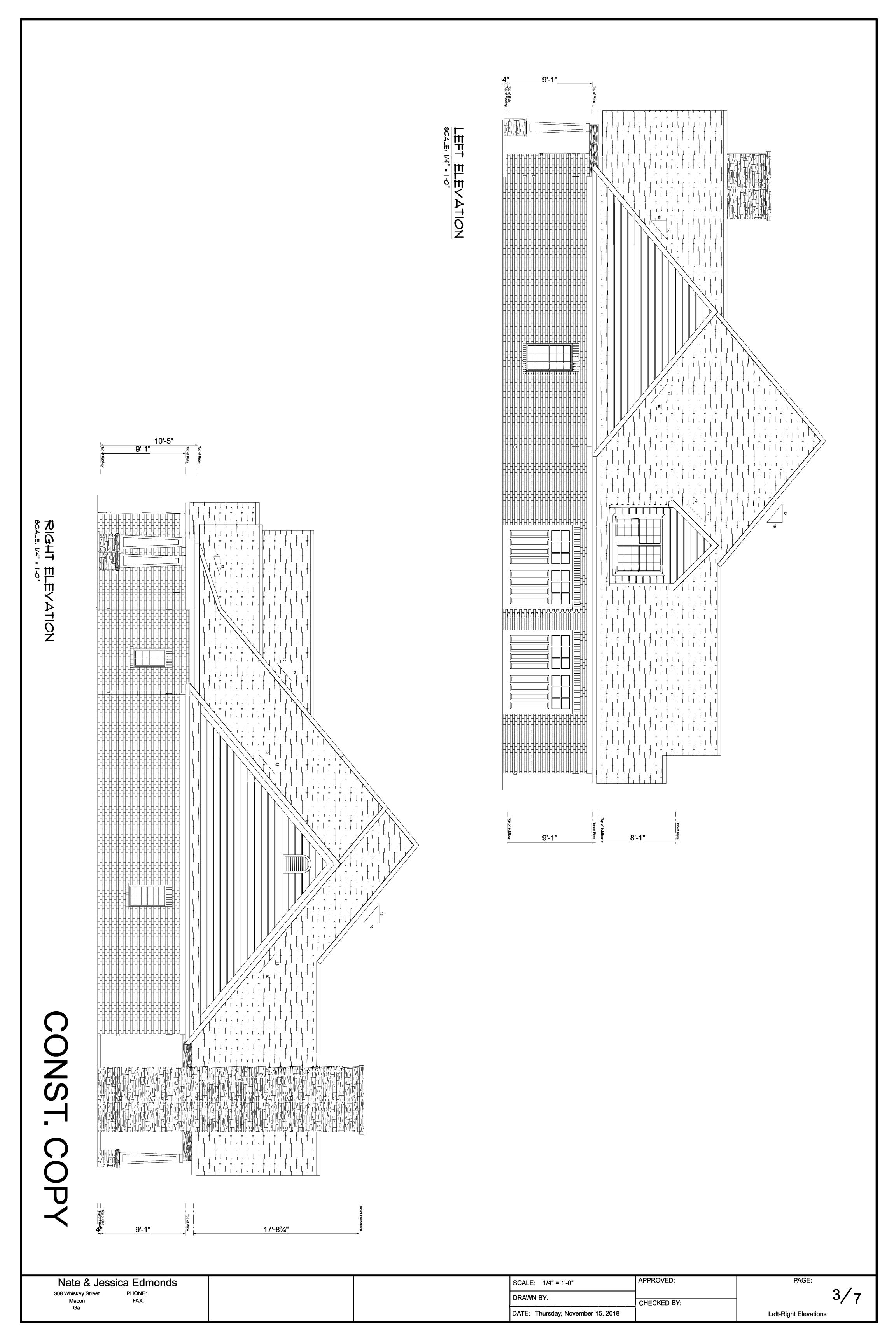
DRAWING SCHEDULE Cover Page\_ Front-Rear Elevations\_ Left-Right Elevations\_ Slab Foundation\_ Crawl Space Main Floor\_ Bonus Rm-Roof\_

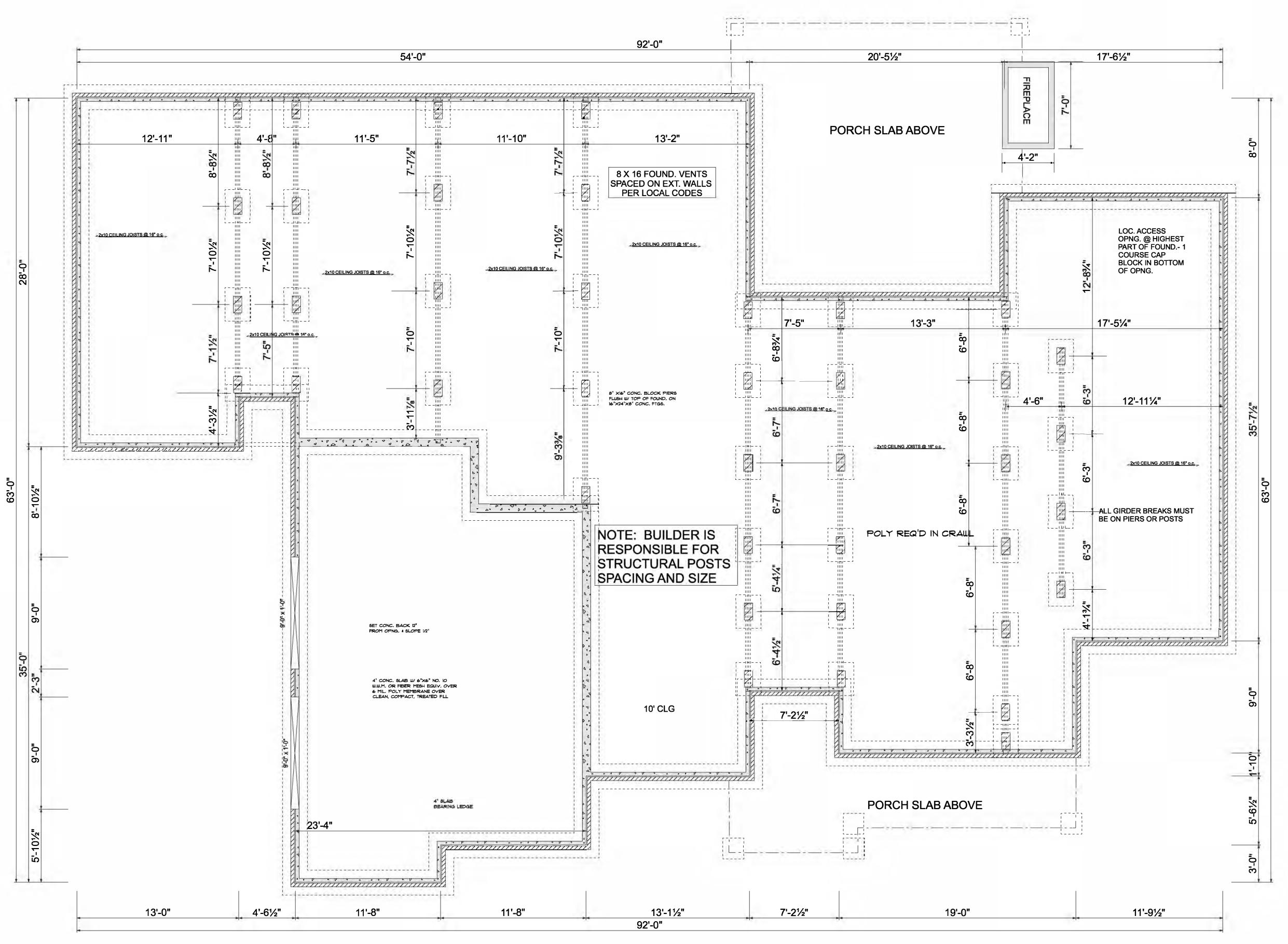


CONST. COPY

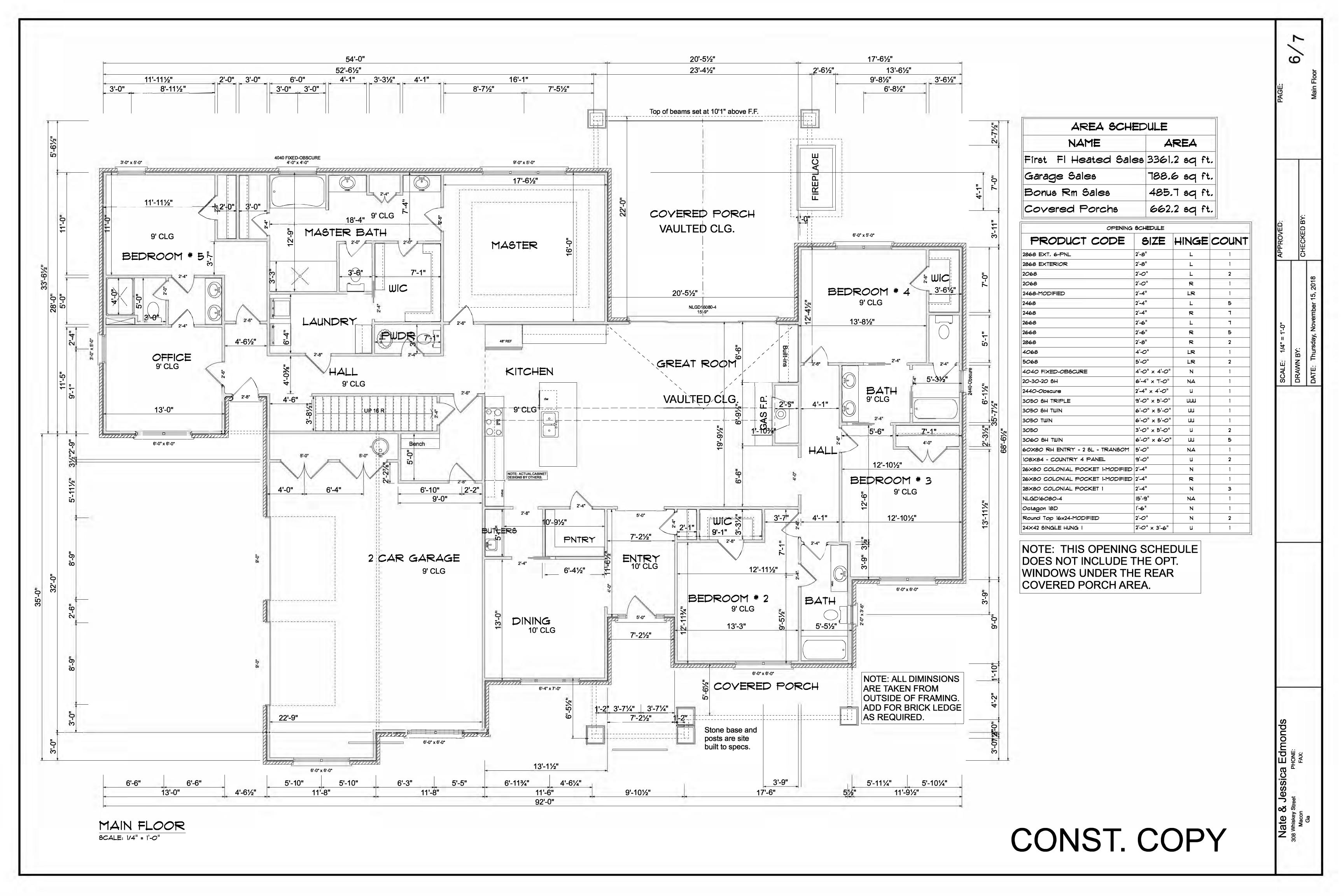
Nate & Jessica Edmonds
308 Whiskey Street PHONE:
Macon FAX:
Ga

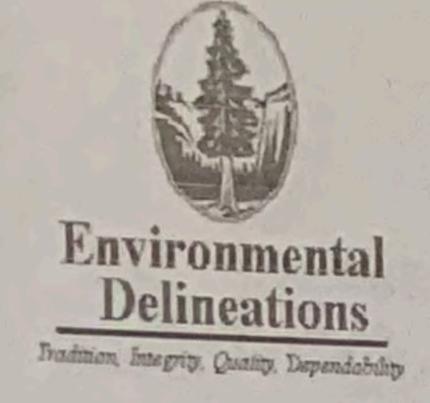






CRAWL SPACE FOUND, SCALE: 1/4" = 1'-0"





213 N. Franklin Street, Dublin, GA 31021 PHONE 478-272-6032 WWW.ENVIRONMENTALDELINEATIONS.COM

COUNTY:	BIBB		
OWNER:	JESSICA EDMONDS	DATE:	3/21/2019
SITE LOCATION:	308 WHISKEY STREET		
SCALE:	I INCH = 60 FEFT		
INTENSITY LEVEL O	F INVESTIGATION: LEVEL THREE; DE	H STANDARDS	

SOIL SERIES  SEE SUITABILITY  CODES	SLOPE % ranges of the soil type	DEPTH TO BEDROCK (ranges)	DEPTH TO SEASONAL HIGH PERCHED* H20 TABLE and/or *RESTRICTIVE (inches/ranges	ABSORPTION RATE AT RECOMMENDED TRENCH DEPTH MIN IN:	RECOMMENDED TRENCH BOTTOM DEPTH (inches)	SUITABILITY
CECIL	5-15%	>60"	>60"	65	24 TO 36*	A
LLOYD	5-15%	>60"	>60"	65	24 TO 36"	A

AREAS WHICH FLOOD OR HAVE POTENTIAL FOR PROBLEMS ASSOCIATED WITH FLOODING/PONDING SHOULD NOT BE U AREAS UTILIZED FOR ABSORPTION FIELDS SHOULD BE SHAPED FOR RAPID RUNOFF.

# SOIL MAP LEGEND

no	DRAINAGE WAY, UNBUITABLE FOR WASTE DISPOSAL
K54	SOIL BORING LOCATION
	OPEN TOP PIPE FOLIND

# SOIL SUITABILITY CODES

VITABILITY CODE = SOIL TYPE SHOULD HAVE ABILITY TO FUNCTION AS SUITABLE ABSORPTION FIELD

WITH PROPER DESIGN, INSTALLATION, AND MAINTENANCE.

# GENERAL NOTES FOR THIS SITE

· MAKE SURE THE PROPOSED SEPTIC AREAS ARE PROTECTED DURING CONSTRUCTION OF THE HOME AND ARE NOT ALLOWED TO BECOME STORAGE AREAS FOR FILL DIRT, OR USED FOR TRASH PITS. ALSO, KEEP HEAVY EQUIPMENT FROM PARKING AND DRIVING ON THE SEPTIC AREA WHICH COULD CAUSE COMPACTION OF THE SOIL. SHAPE DRAIN FIELD FOR RAPID RUN OFF, MUST CONTROL SURFACE WATER FROM ANY LAND AREA LOCATED UP GRADIENT.

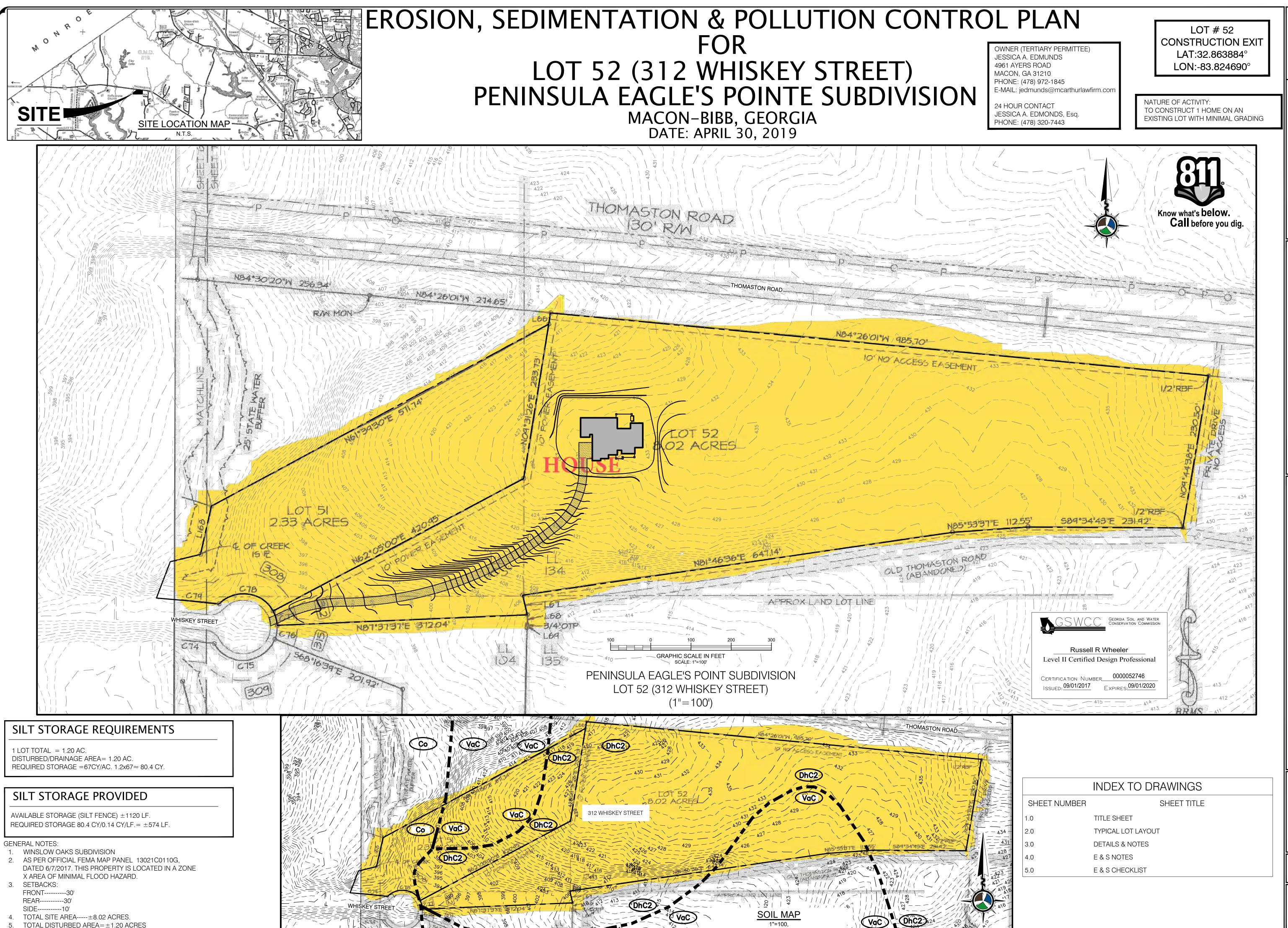
\* THE ABSORPTION FIELD SHOULD NOT BE INSTALLED DURING A WET OR RAINY PERIOD WHICH COULD RESULT IN DAMAGE TO THE

WHISKY STREET

BOIL STRUCTURE AND RESULT IN REDUCED SYSTEM PERFORMANCE. The information contained in this report is based on the pedons (test borings) classified in the field. All boring locations, as well as, other miscellaneous soil conditions and features, are located with a Trimble Pro XRS Global Positioning Satellite System (GPS) to assist in maintaining quality control. If the site is disturbed from cutting or filling after the date of this soil report, the Soil Scientist whose seal is affixed to this report and his recommendations are null 4 void. The projected boundary of each soil map unit is based on the professional opinion and judgment of the Soil Scientist. Soil boardary lines should be considered as transitional zones where one soil condition intergrades into another, rather than, as an exact boundary. ED.LLC does not install, maintain or permit waste disposal systems and does not guarantee the performance of any waste disposal system. Pull length systems using three loot wide trenches with equal lengths of line and equal distribution (e.g. distribution box) installed on the contour of the landscape will increase longevity and long term performance and is recommended for all systems. Your local Health Department holds full authority in the permitting of create waste disposal systems. The use of advance treatment (e.g. Aerobic Treatment Systems) to decrease the standard 24"inch separation off a seasonal high water table or restrictive layer does not guarantee the proper function of a septic system. A number of systems will meet "code", but that does not necessarily mean that all systems that meet "code" will function properly. Recommendations are site specific and if not followed will void this report. This report is based on conventional septic systems and all recommendations are based on installation from the original unaltered soil surface unless stated otherwise, ED,UC produces soils surveys based on the USDA Soil Survey Manual, U.S. Soil Taxonomy, and all mapping is completed in accordance with the National Cooperative Soil Survey Standards. Any changes or alterations made to the soil maps or interpretations without the written approval of ED,LLC woods the seal of the Soil Scientist. This report reflects the soil conditions as they relate to on-site waste disposal and shall not be used to determine suitability. of footers and/or building foundations. The information herein is intended for the sole use of the client named above. Use by any other party must be with the express written permassion by ED,LLC and risk for purposes other than those expressly indicated by this report is at the risk of the user. The lot boundary shown was taken from the country Tai Assessor's public record maps and was electronically traced and used as the background image in completing this soil survey and is for illustration purposes only and shall be considered approximate. ED,LLC does not guarantee the accuracy of the information provided by others,

HOME SITE DESIGNATED BY CLIENT! Environmental Delincations, LLC Tradition, Integrity, Quality, Dependability, 770-227-2999 • 478-272-6032 CECIL 5-15% not mapped not mapped LOT 52 DRAWN BY: NS SITE WORK: KLD CHECKED BY: 515 REVISIONS: LOT 53 THIS DRAWING IS THE PROPERTY OF The information herein is intended for the sole use of Jessica Edmonds (Client). Use by any other party must be with the express written permission by Environmental Delineations, LLC (Consultant) and risk for purposes other than those expressly indicated by this report is at the risk of the user.

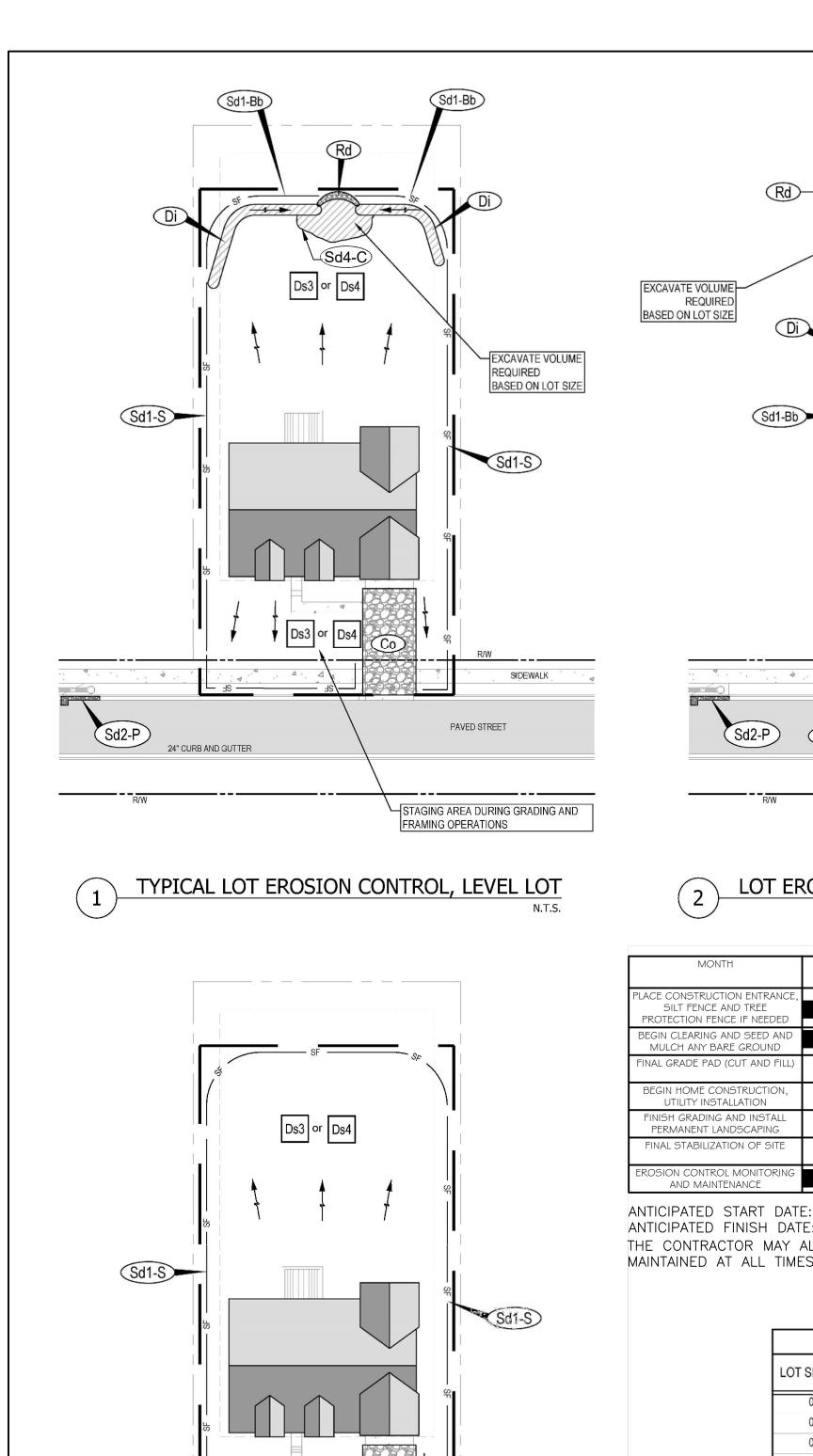
3-21-2019



TOTAL DISTURBED AREA = ±1.20 ACRES

SUBDIVISION

PROJECT NO.: DATE:



SIDEWALK

PAVED STREET

STAGING AREA DURING GRADING AND

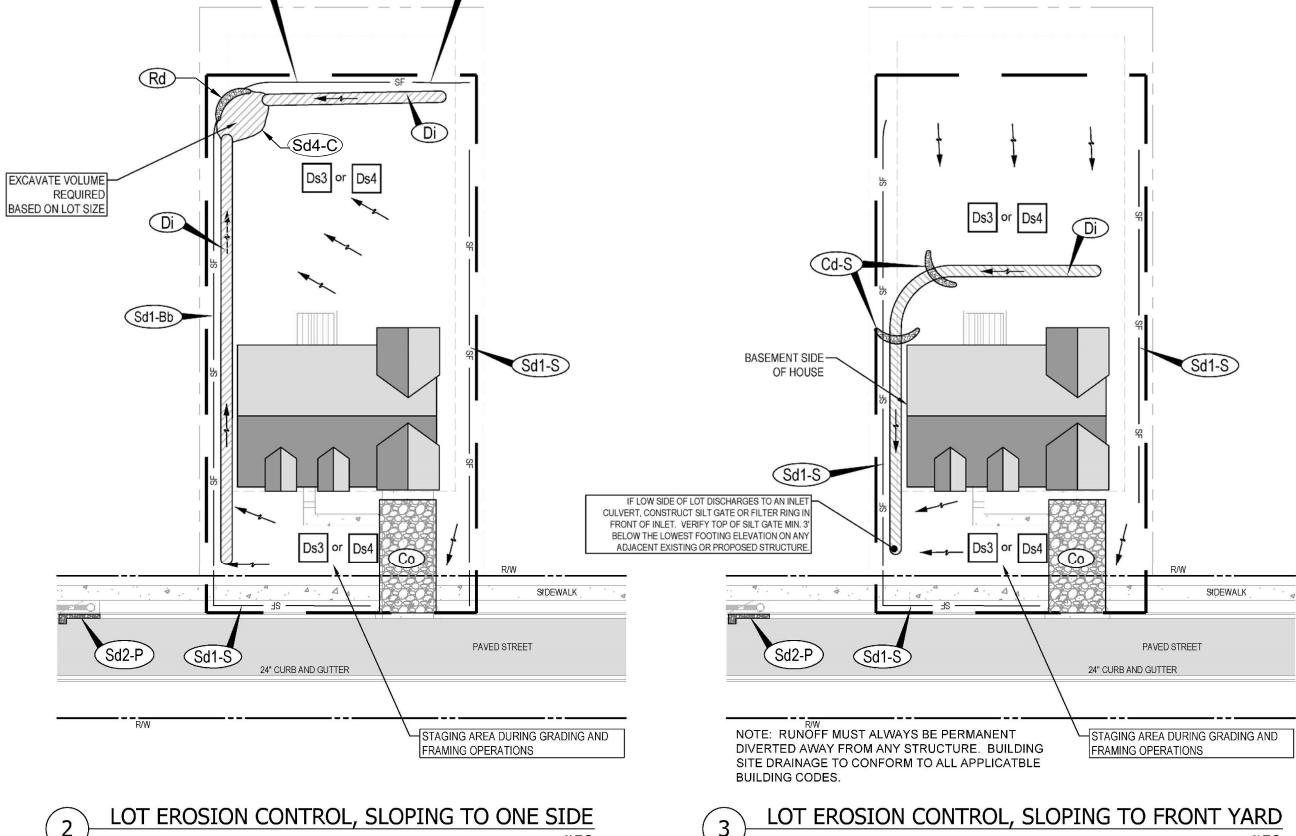
24" CURB AND GUTTER

TYPICAL LOT EROSION CONTROL

ONLY TO BE USED WHEN LOT AREA IS ROUTED THROUGH A PRESENTLY MAINTAINED

SEDIMENT BASIN, ROCK DAM, RETROFITTING, OR OTHER EQUIVALENT STRUCTURAL

BMP. BEFORE ENTERING A STATE WATER OR LEAVING THE COMMON DEVELOPMENT.



ANTICIPATED START DATE: \_\_\_\_\_ ANTICIPATED FINISH DATE: \_\_\_\_\_

THE CONTRACTOR MAY ALTER THIS SCHEDULE AS LONG AS EROSION CONTROL IS MAINTAINED AT ALL TIMES UNTIL PERMANENT VEGETATION IS ESTABLISHED.

LOT SIZE (Ac.)  Excavation Size (C.Y.)  Depth (FT)  Avg. Approx. Depth (FT)  Depth (FT)  Approx. L and W (FT)  11.25  2 12  0.33  0.50  22.50  2 12  1.0  45.00  2 2  2.0  *These quantities are approximate based on 50 C.Y. per Acre of lot size. In most cases, this estimate is conservative, since portions of the lot will remain undisturbed and portions of the lot will drain to sediment traps/silt fence along the street. Contractor may reduce excavation area or modify the size to handle multiple adjacent lots provided 67 cubic yards per Acre of Disturbed area is provided, and cleaned out when the volume reaches 1/3 of the total.	BASIN SIZING TABLE (BASED ON LOT SIZE)									
0.33  0.50  22.50  2  1.0  45.00  2  2.0  *These quantities are approximate based on 50 C.Y. per Acre of lot size. In most cases, this estimate is conservative, since portions of the lot will remain undisturbed and portions of the lot will drain to sediment traps/silt fence along the street.  Contractor may reduce excavation area or modify the size to handle multiple adjacent lots provided 67 cubic yards per Acre of Disturbed area is provided, and cleaned out	OT SIZE (Ac.)									
1.0	0.25	11.25	2	12						
1.0	0.33									
*These quantities are approximate based on 50 C.Y. per Acre of lot size. In most cases, this estimate is conservative, since portions of the lot will remain undisturbed and portions of the lot will drain to sediment traps/silt fence along the street.  Contractor may reduce excavation area or modify the size to handle multiple adjacent lots provided 67 cubic yards per Acre of Disturbed area is provided, and cleaned out	0.50	22.50	2							
*These quantities are approximate based on 50 C.Y. per Acre of lot size. In most cases, this estimate is conservative, since portions of the lot will remain undisturbed and portions of the lot will drain to sediment traps/silt fence along the street.  Contractor may reduce excavation area or modify the size to handle multiple adjacent lots provided 67 cubic yards per Acre of Disturbed area is provided, and cleaned out	1.0 45.00 2									
cases, this estimate is conservative, since portions of the lot will remain undisturbed and portions of the lot will drain to sediment traps/silt fence along the street.  Contractor may reduce excavation area or modify the size to handle multiple adjacent lots provided 67 cubic yards per Acre of Disturbed area is provided, and cleaned out	2.0									
when the volume reaches 1/3 of the total.										

DS2 ON ALL DISTURBED AREAS WITHIN 14 DAYS OF DISTURBANCE OR AS SOON AS FINAL GRADE IS ACHIEVED. WHICHEVER IS SOONER. USE FOR AREAS AS FINAL GRADE IS ACHIEVED, WHICHEVER IS SOONER. USE FOR AREAS WHERE FUTURE DISTURBANCE WILL NOT OCCUR FOR 2-6 MONTHS.

ON ALL ROUGH GRADED AREAS THAT WILL BE UNDISTURBED FOR LONGER THAN 6 MONTHS. APPLY IMMEDIATELY TO ALL DISTURBED AREAS AT FINAL

TYPICAL SECONDARY AND TERTIARY PERMITTEE EROSION CONTROL SEQUENCE (PART IV.D.1.b):

- 1. TERTIARY PERMITTEES ARE REQUIRED TO SUBMIT NOTIFICATION OF INTENT IN ACCORDANCE WITH GA DNR, ENVIRONMENTAL PROTECTION DIVISION PERMIT GAR 100003 A MINIMUM OF 14 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- 2. CONTRACTOR TO INSTALL PERIMETER SEDIMENT BARRIERS PRIOR TO CLEARING OPERATIONS.
- 3. CONSTRUCTION OF DIVERSIONS, BRUSH BARRIERS, AND A GRAVEL CONSTRUCTION ENTRANCE ARE TO BE PERFORMED PRIOR TO GRUBBING OPERATIONS.
- 4. STABILIZATION MEASURES (MULCHING OR VEGETATIVE MEASURES) ARE REQUIRED TO BE INSTALLED AS SOON AS PRACTICABLE IN AREAS WHERE FURTHER DISTURBANCE WILL CEASE FOR A PERIOD GREATER THAN 14 DAYS FROM THE DATE THEY ARE GRUBBED.
- 5. CONTRACTOR TO PERFORM ROUGH GRADING AND ESTABLISHMENT OF THE BUILDING PAD FOR THE SITE.
- 6. STABILIZATION MEASURES (MULCHING OR VEGETATIVE MEASURES) ARE REQUIRED TO BE INSTALLED AS SOON AS PRACTICABLE IN AREAS WHERE FURTHER DISTURBANCE WILL CEASE FOR A PERIOD GREATER THAN 14 DAYS FROM THE DATE THEY ARE GRUBBED. ANY EXCAVATIONS FOR EROSION CONTROL SHOULD BE INSPECTED. IF THE VOLUME OF SUCH MEASURES (INCLUDING SILT BARRIERS) ARE MORE THAN 1/3 FULL, THEY ARE TO BE CLEANED OUT.
- 7. BUILDING CONSTRUCTION WILL COMMENCE ON THE SITE.
- 8. SITE FINAL GRADING, PAVING, AND LANDSCAPING WILL COMMENCE. IF SOD IS BEING PLACED, SILT BARRIERS MAY BE REMOVED FROM DOWNSTREAM AREAS IMMEDIATELY UPON COMPLETION OF SOD INSTALLATION. FOR AREAS WHERE PERMANENT GRASSING IS USED, EROSION CONTROL MEASURES MAY BE REMOVED ONCE LANDSCAPING IS COMPLETED, PAVING IS COMPLETE, AND PERMANENT GRASSES COVER 70% OF THE SITE AREA.
- 9. NOTICE! AN AREA IS NOT CONSIDERED PERMANENTLY STABILIZED UNTIL PERMANENT GRASS IS ESTABLISHED. WHEN PERMANENT/ANNUAL GRASS MIXTURES ARE USED FOR OFF-SEASON ESTABLISHMENT, THE AREA IS NOT PERMANENTLY STABILIZED UNTIL THE PERMANENT GRASSES MAKE UP 70% OF THE ESTABLISHED
- 10. FOR LOTS THAT HAVE A DISCHARGE POINT AT THE REAR OF THE SITE WITHIN 100 FEET OF STATE WATERS, A DOUBLE ROW OF TYPE "C" SILT FENCE SHOULD BE INSTALLED ALONG THE REAR OF THE SITE.

NOTE: SD1-NS CAN BE USED IN LIEU OF SD1-S IF THE SITE IS NOT LOCATED WITHIN 200' OF STATE WATERS OR OTHER SENSITIVE AREAS. 312 WHISKEY STREET IS LOCATED WITHIN 200' OF A STATE WATER OR SENSITIVE AREA, AT ITS CONNECTION TO WHISKEY STREET. TWO ROWS OF TYPE C SILT FENCE ARE REQUIRED WITHIN THE AREA 200' FROM THE STREAM.

ALONG ALL STATE WATERS AND OTHER SENSITIVE AREAS, TWO ROWS OF TYPE C SEDIMENT BARRIERS SHALL BE USED. THE TWO ROWS OF TYPE C SEDIMENT BARRIER SHOULD BE PLACED A MINIMUM OF 36 INCHES APART.



CERTIFICATION NUMBER 0000052746 ISSUED: 09/01/2017 EXPIRES: 09/01/2020

OWNER (TERTIARY PERMITTEE) JESSICA A. EDMUNDS 4961 AYERS ROAD MACON, GA 31210 PHONE: (478) 972-1845 E-MAIL: jedmunds@mcarthurlawfirm.com 24 HOUR CONTACT JESSICA A. EDMONDS, Esq. PHONE: (478) 320-7443

SUBDIVISION =FT

PROJECT NO.: PEP 001 DATE: APRIL 30, 2019 SCALE:

## GEORGIA UNIFORM CODING SYSTEM FOR SOIL FROSION AND SEDIMENT CONTROL PRACTICES

		FO	R SOIL EROSION AND S	FDIMI	ENIC	ONTROL PRA	CHC
	OTDUO		ATE SOIL AND WATER CONS	SERVAT	ION CO	OMMISSION OF (	GEORGI
	STRUCT	IUKAL	PRACTICES				
Cd	CHECKDAM	Cd	A SMALL TEMPORARY BARRIER OR DAM CONSTRUCTED ACROSS A SWALE, DRAINAGE DITCH OR AREA OF CONCENTRATED FLOW		Sd3	TEMPORARY SEDIMENT BASIN	
Ch	CHANNEL STABILIZATION	Ch	IMPROVING, CONSTRUCTING OR STABILIZING AN OPEN CHANNEL, EXISTING STREAM OR DITCH.		Sr	TEMPORARY STREAM CROSSING	(Label)
Co	CONSTRUCTION EXIT	(Label)	A CRUSHED STONE PAD LOCATED AT THE CONSTRUCTION SITE EXIT TO PROVIDE A PLACE FOR REMOVING MUD FROM TIRES THEREBY PROTECTING PUBLIC STREETS.		St	STORM DRAIN OUTLET PROTECTION	St
Cr	CONSTRUCTION ROAD STABILIZATION	(E) 88	A TRAVEL WAY CONSTRUCTED AS PART OF A CONSTRUCTION PLAN INCLUDING ACCESS ROADS, SUBDIVISION ROADS, PARKING AREAS AND OTHER ON—SITE VEHICLE TRANSPORTATION ROUTES.	-	Su	SURFACE ROUGHENING	Su
Dc	STREAM DIVERSION CHANNEL	Dc	A TEMPORARY CHANNEL CONSTRUCTED TO CONVEY FLOW AROUND A CONSTRUCTION SITE WHILE A PERMANENT STRUCTURE IS BEING CONSTRUCTED.	-	Tp	ROUGHENING VEGETATED	(Show Stripir Storage Area
Di	DIVERSION	Di	AN EARTH CHANNEL OR DIKE LOCATED ABOVE, BELOW, OR ACROSS A SLOPE TO DIVERT RUNOFF. THIS MAY BE A TEMPORARY OR PERMANENT STRUCTURE.		Wt	WATERWAY OR STORMWATER CONVEYANCE CHANNEL	
Dn1	TEMPORARY DOWN DRAIN STRUCTURE	Dn1 Dn1	A FLEXIBLE CONDUIT OF HEAVY—DUTY FABRIC OR OTHER MATERIAL DESIGNATED TO SAFELY CONDUCT SURFACE RUNOFF DOWN A SLOPE. THIS IS TEMPORARY AND INEXPENSIVE.	-		VEGETA	ATIVE
Dn2	PERMANENT DOWN DRAIN STRUCTURE	Dn2)	A PAVED CHUTE, PIPE, SECTIONAL CONDUIT OR SIMILAR MATERIAL DESIGNED TO SAFELY CONDUCT SURFACE RUNOFF DOWN A SLOPE.		Bf	BUFFER ZONE	Bf
Fr	FILTER RING	Fr	A TEMPORARY STONE BARRIER CONSTRUCTED AT STORM DRAIN INLETS AND POND OUTLETS.		Cs	COASTAL DUNE STABILIZATION (WITH VEGETATION)	Cs
Ga	GABION	(G)	ROCK FILTER BASKETS WHICH ARE HAND PLACED INTO POSITION FORMING SOIL STABILIZATION STRUCTURES.		Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	Ds1

PERMANENT STRUCTURES INSTALLED TO PROTECT NATURAL OR ARTIFICIAL CHANNELS OR WATERWAYS WHERE OTHERWISE THE SLOPE WOULD BE SUFFICIENT FOR THE RUNNING WATER TO FORM GULLIES.

A PERMANENT OR TEMPORARY STONE FILTER DAM INSTALLED ACROSS SMALL STREAMS OR DRAINAGE WAYS

A WALL INSTALLED TO STABILIZE CUT AND FILL SLOPES WHERE MAXIMUM PERMISSIBLE SLOPES ARE NOT OBTAINABLE. EACH SITUATION WILL REQUIRE SPECIAL DESIGN.

A DEVICE OR STRUCTURE PLACED IN FRONT OF A PERMANENT STORM WATER DETENTION POND OUTLET STRUCTURE TO SERVE AS A TEMPORARY SEDIMENT FILTER.

A BARRIER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. IT MAY BE SANDBAGS, BALES OF STRAW OR HAY, BRUSH, LOGS AND POLES, GRAVEL OR SILT FENCE.

AN IMPOUNDING AREA CREATED BY EXCAVATING AROUND A STORM DROP INLET. THE EXCAVATED AREA WILL BE FILLED AND STABILIZED ON COMPLETION OF CONSTRUCTION ACTIVITIES.

Gr )

(Sd1)

STABILIZATION

STRUCTURE

LEVEL SPREADER

RETAINING WALL

RETROFITTING

SEDIMENT BARRIER

	VEGETA	ATIVE N	MEASURES
Bf	BUFFER ZONE	Bf	A STRIP OF UNDISTURBED ORIGINAL VEGETATION, ENHANCED OR RESTORED EXISTING VEGETATION OR THE RE-ESTABLISHMENT OF VEGETATION SURROUNDING AN AREA OF DISTURBANCE OR BORDERING STREAMS.
Cs	COASTAL DUNE STABILIZATION (WITH VEGETATION)	Cs	PLANTING VEGETATION ON DUNES THAT ARE DENUDED, ARTIFICIALLY CONSTRUCTED OR RENOURISHED.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	Ds1	ESTABLISHING TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, SOD OR LEGUMES ON DISTURBED AREAS
Ds4	DISTURBED AREA STABILIZATION (WITH SODDING)	Ds4	A PERMANENT VEGETATIVE COVER USING SODS ON HIGHLY ERODIBLE OR CRITICALLY ERODED LANDS.
Du	DUST CONTROL ON DISTURBED AREAS	Du	CONTROLLING SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS AND SIMILAR SITES.
МЬ	EROSION CONTROL MATTING AND BLANKETS	Mb	THE INSTALLATION OF A PROTECTIVE (BLANKET) OR SOIL STABILIZATION MAT ON A PRÉPARED PLANTING AREA OF A STEEP SLOPE, CHANNEL OR SHORELINE.
Pm	DUST CONTROL ON DISTURBED AREAS	H Pm H	THE LAND APPLICATION OF PRODUCT CONTAINING ANIONIC POLYACRYLAMIDE (PAM) AS TEMPORARY SOIL BINDING AGENTS TO REDUCE SOIL EROSION.
Sb	STREAM BANK STABILIZATION (USING PERMANENT VEGETATION)	H Sb H	THE USE OF READILY AVAILABLE NATIVE PLANT MATERIALS TO MAINTAIN AND ENHANCE STREAM BANKS, OR TO PREVENT OR RESTORE AND REPAIR SMALL STREAM BANK EROSION PROBLEMS.
Ть	TACKIFIERS AND BINDERS	Н ТЬ Н	SUBSTANCE USED TO ANCHOR STRAW OR HAY MULCH BY CAUSING THE ORGANIC MATERIAL TO BIND TOGETHER.

A BASIN CREATED BY EXCAVATION OR A DAM ACROSS A WATERWAY. THE SURFACE WATER RUNOFF IS TEMPORARILY STORED ALLOWING THE BULK OF THE SEDIMENT TO DROP OUT.

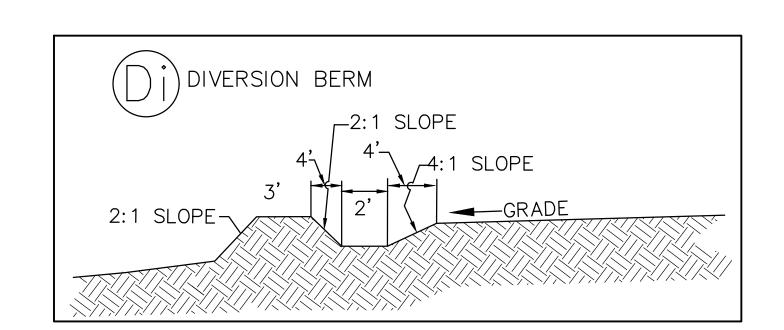
A TEMPORARY BRIDGE OR CULVERT—TYPE STRUCTURE PROTECTING A STREAM OR WATERCOURSE FROM DAMAGE BY CROSSING CONSTRUCTION EQUIPMENT.

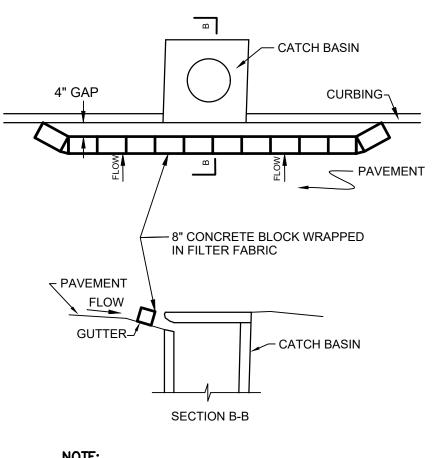
A PAVED OR SHORT SECTION OF RIPRAP CHANNEL AT THE OUTLET OF A STORM DRAIN SYSTEM PREVENTING EROSION FROM THE CONCENTRATED RUNOFF.

A ROUGH SOIL SURFACE WITH HORIZONTAL DEPRESSIONS ON A CONTOUR OR SLOPES LEFT IN A ROUGHENED CONDITION AFTER

THE PRACTICE OF STRIPPING OFF THE MORE FERTILE SOIL, STORING IT, THEN SPREADING IT OVER THE DISTURBED AREA AFTER COMPLETION OF CONSTRUCTION ACTIVITIES.

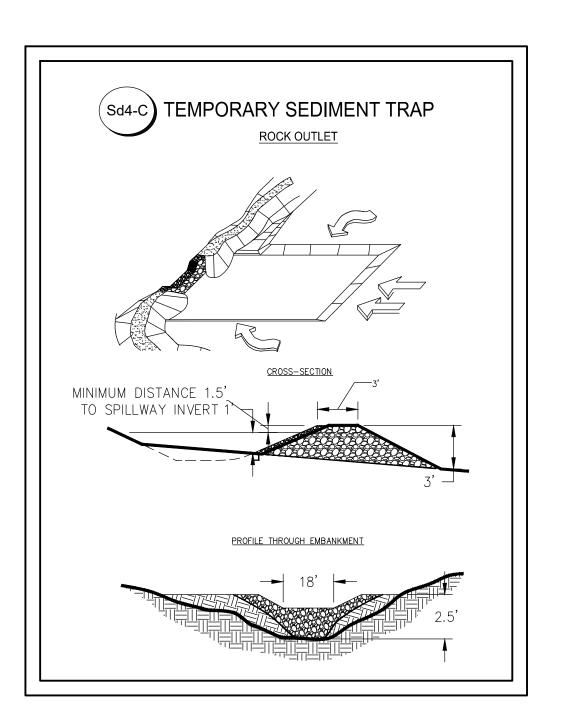
PAVED OR VEGETATIVE WATER OUTLETS FOR DIVERSIONS, TERRACES, BERMS, DIKES, OR SIMILAR STRUCTURES.

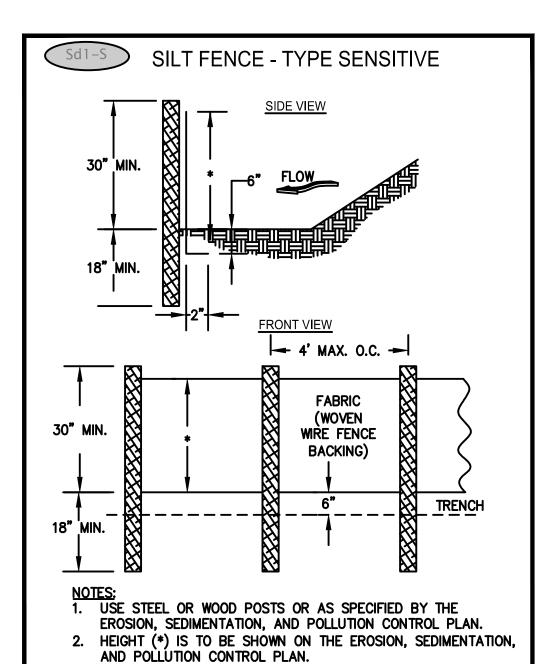


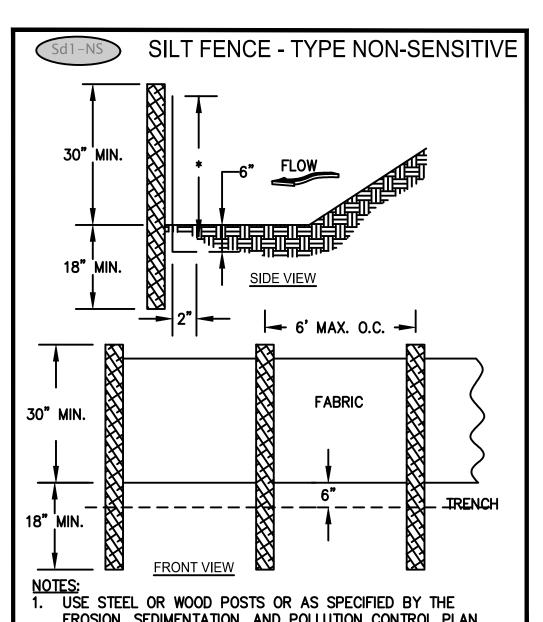


INSTALL FILTER AFTER ANY ASPHALT PAVEMENT INSTALLATION. 2. FILTER TO BE REMOVED IMMEDIATELY IF TRAFFIC HAZARDS ARE OBSERVED OR REPORTED.

# Sd2-P DETAIL - CURB INLET FILTER

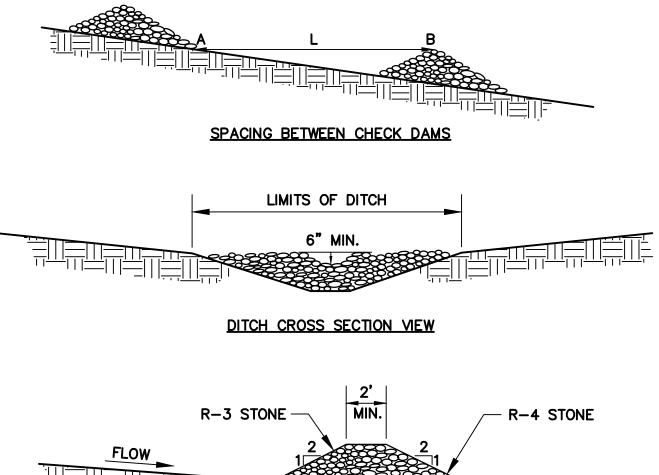






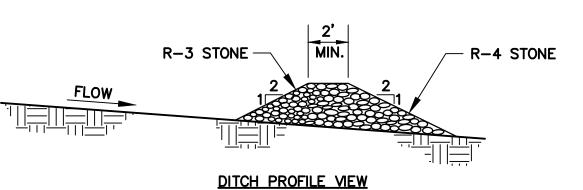
2. HEIGHT (\*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION,

AND POLLUTION CONTROL PLAN.

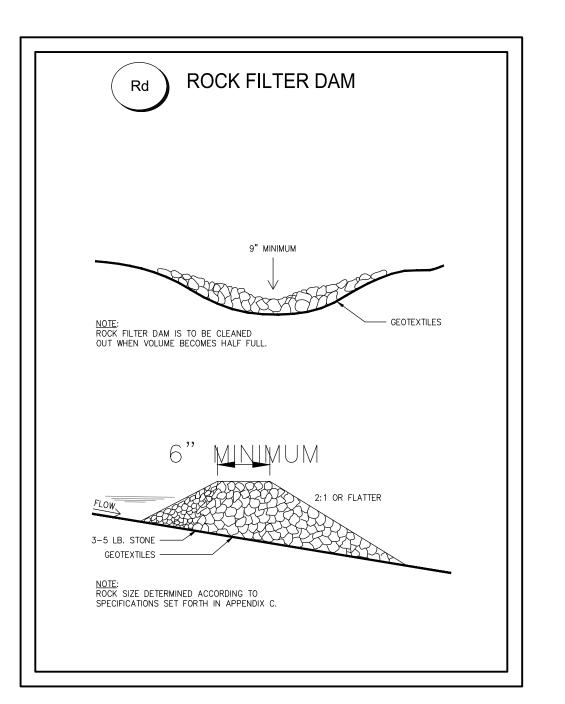


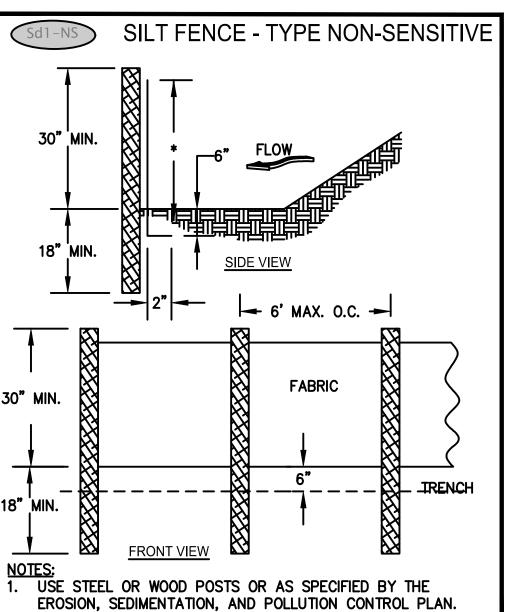
L = THE DISTANCE SUCH THAT POINTS

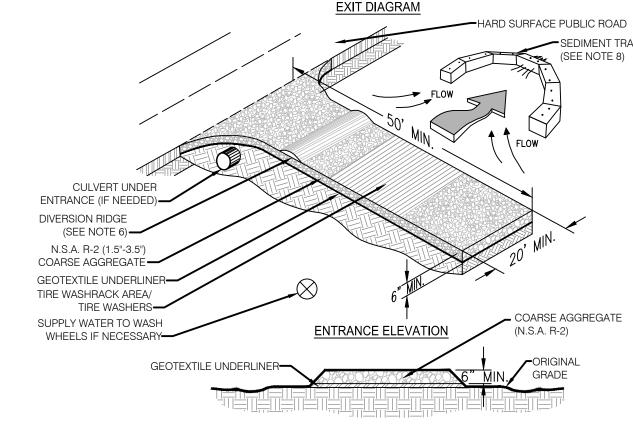
A AND B ARE OF EQUAL ELEVATION



# DETAIL - ROCK CHECK DAM N.T.S.





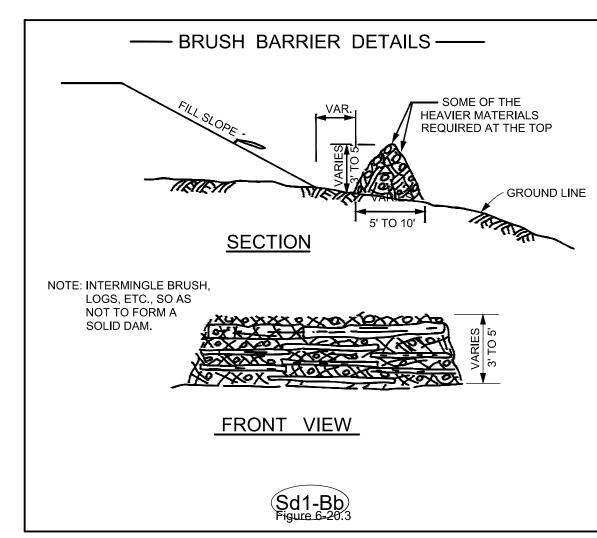


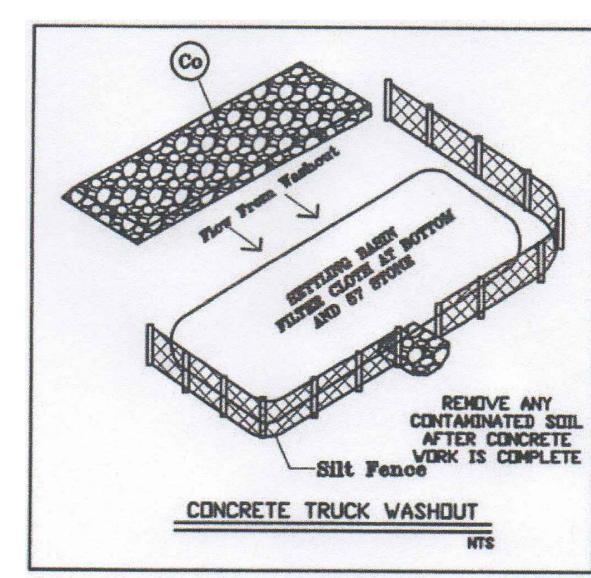
- NOTES:

  1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.

  1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS. 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA. GRADE. AND CROWN FOR POSITIVE DRAINAGE.
- 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2
- (1.5"-3.5" STONE). 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
- 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
- 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%..
- 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES. 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT
- BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE). 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL
- SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT. 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

# DETAIL - TEMPORARY CONSTRUCTION EXIT





OWNER (TERTIARY PERMITTEE) JESSICA A. EDMUNDS 4961 AYERS ROAD MACON, GA 31210 PHONE: (478) 972-1845 E-MAIL: jedmunds@mcarthurlawfirm.com

24 HOUR CONTACT

JESSICA A. EDMONDS, Esq. PHONE: (478) 320-7443

GEORGIA SOIL AND WATER CONSERVATION COMMISSION Russell R Wheeler Level II Certified Design Professional CERTIFICATION NUMBER 0000052746

ISSUED: 09/01/2017

EXPIRES: 09/01/2020

SUBDIVISION MONDS, I POINTE EY STRI ENINSULA I

PROJECT NO.: PEP 001 DATE: APRIL 30, 2019 SCALE: 1" = 1

(e). Existing construction activities, i.e., those that are occurring on or before the effective date of this permit, that have met

the sampling required by (a) above shall sample in accordance with (b). Those existing construction activities that have—

'Note that the permittee may choose to meet the requirements of (a) and (b) above by collecting turbidity samples from any

the fifteenth day of the month following the reporting period. Reporting periods are months during which samples are take

in accordance with this permit. Sampling results shall be in a clearly legible format. Upon written notification, EPD may

equire the applicable permittee to submit the sampling results on a more frequent basis. Sampling and analysis of any

sterm water discharge(s) or the receiving water(s) beyond the minimum frequency stated in this permit must be reported in

a similar manner to the EPD. The sampling reports must be signed in accordance with Part V.C.2. Sampling reports mus

All written correspondence required by this permit shall be submitted by return receipt certified mail (or similar service)

to the appropriate District Office of the EPD according to the schedule in Appendix A of this permit. The permittee shall—

retain a copy of the proof of submittal at the construction site or the proof of submittal shall be readily available at a

designated location from commencement of construction until such time as a NOT is submitted in accordance with Part VI.-

lf an electronic submittal is provided by EPD then the written correspondence may be submitted electronically; if required, a

be submitted to EPD until such time as a NOT is submitted in accordance with Part VI.

a. The rainfall amount, date, exact place and time of sampling or measurements

e. The name(s) of the certified personnel who performed the analyses;

i. Certification statement that sampling was conducted as per the Plan.

b. The name(s) of the certified personnel who performed the sampling and measure

h. Results which exceed 1000 NTU shall be reported as "exceeds 1000 NTU;" and

paper copy must also be submitted by return receipt certified mail or similar service.

f. References and written procedures, when available, for the analytical techniques or methods used:

(2). All sampling results shall include the following information:

required to submit the sampling results to the EPD at the address shown in Part II.C. by

met the sampling required by (b) above shall net be required to conduct additional sampling other than as required by (

obligations under (a), (b), or (c) above; and

Reporting of Sampling Results: N/A

e. The date(s) analyses were performed;

d. The time(s) analyses were initiated;

For this site, reports shall be provided to: West Central District Office Georgia Environmental Protection Division 2640 Shurling Drive

33. The tertiary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI of General NPDES Permit No. GAR100003:

13. I certify that the permittee's Erosion, Sedimentation and Pollution Control Plan provides for an appropriate and

on page 17 & 18 of the Permit.

"Manual for Erosion and Sediment Control in Georgia" (Manual) published by the State Soil and Water Conservation

comprehensive system of Best Management Practices required by the Georgia Water Quality Control Act and the document

Commission as of January 1 of the year in which the land-disturbing activity was permitted, provides for the sampling of the

15. Non-exempt activities shall not be conducted within the 25- or 50-foot undisturbed stream buffers as measured from the

16. Lot 52 (312 Whiskey Street is within 200' of a state water. There are no buffer encroachments and no buffer variances are

17. Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be

retrofitting (Rt), inlet sediment traps (Sd2), temporary sediment basins (Sd3), temporary sediment traps (Sd4), floating surface

18. Waste materials shall not be discharged to waters of the State, except as authorized by a section 404 permit. No section

19. The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and

20. Erosion control measures shall be maintained at all times. If full implementation of the approved plan does not provide for

effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the

21. Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding.

skimmers (Sk), seep berms (Sp), temporary stream crossings (Sr), storm drain outlet protection (St), turbidity curtains (Tc), and

certified by the design professionall. These items include, but are not limited to, diversions (Di), temporary downdrain

structures (Dn1), permanent downdrain structures (Dn2), level spreaders (Lv), rock filter dams (Rd), retaining walls (Re),

point of wrested vegetation without first acquiring the necessary variances and permits.

vegetated waterways or stormwater conveyance channels (Wt.)

404 permit has been obtained for this development.

practices prior to land disturbing activities.

sediment source.

Macon, GA 31211-3576

(478) 751-6612

receiving water(s) or the sampling of the storm water outfalls and that the designed system of Best Management Practices and

sampling methods is expected to meet the requirements contained in the General NPDES Permit No. GAR 100003 and stated

a. A copy of all Notices of Intent submitted to EPD;

A copy of the Erosion, Sedimentation and Pollution Control Plan required by GAR 100003; The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5 of GAR d. A copy of all monitoring information, results, and reports required by GAR 100003;

A copy of all inspection reports generated in accordance with Part IV.D.4.a of GAR 100003;

A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2 of GAR

Daily rainfall information collected in accordance with Part IV.D.4.a.(2) of GAR 100003.

Copies of all Notices of Intent, Notices of Termination, inspection reports, sampling reports (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation) or other reports requested by the EPD, Erosion, Sedimentation, and Pollution Control Plans, records of all data used to complete the Notice of Intent to be covered by this permit, and all other records required by this permit shall be retained by the permittee who either produced or used it for a period of at least three years from the date that the NOT is submitted in accordance with Part VI of this permit. These records must be maintained at the permittee's primary place of business or at a designated alternative location once the construction activity has ceased at the permitted site. This period may be extended by request of the EPD at any time upon written notification to the permittee.

34. Storm water samples shall be retrieved from the sampling point as indicated on N/A of this plan.

a. Sample Type. All sampling shall be collected by "grab samples" and the analysis of these samples must be conducted in accordance with methodology and test procedures established by 40 CFR Part 136 (unless other test procedures have been approved); the guidance document titled "NPDES Sterm Water Sampling Guidance Document, EPA 833 B 92 001" and guidance documents that may be prepared by the EPD.

(1). Sample containers should be labeled prior to collecting the samples.

eleaned theroughly to avoid contamination.

(4). Manual, automatic, or rising stage sampling may be utilized. Samples required by this plan should be analyzed immediately, but in no case later than 48 hours after collection. However, samples from automatic samplers must be collected no later than the next business day after their accumulation, unless flow through automated analysis is utilized. If

PAGE 3 OF 8 Segment. N/A

25. Concrete truck washout location shall be in a temporary truck wash area located at the site entrance. Washout shall be contained within a pit or trench with no material leaving the site or impacting vegetated or non-disturbed areas. Disposal of material shall include the breaking of material into small amounts for trash disposal or removal from the site to an appropriate landfill. Washout of the drum at the construction site is prohibited.

Paint and/or other chemicals shall be stored in secured facilities with restricted access to employees only. Cleanup and disposal of this material shall be in accordance with all recognized local and federal requirements. All disposal shall be in approved off site waste facilities classified to accept that material.

26. All petroleum products shall be stored and used in an area that provides a secondary containment feature, and shall be located in an area with the least foreseeable impact if a catastrophic event should occur. Emergency contact numbers and procedures for spills shall be available on-site. All petroleum spills and leaks shall be remediated immediately. The flow must be stopped, contained, and affected soils removed. In the event of a spill or leak, contact First Environmental Nationwide toll free at (888) 720-1330.

27. Description of the practices to provide cover for building materials and building products on site. N/A

28. The site will be stabilized with permanent grassing in order to reduce pollutants in stormwater discharges.

29. Dust control, a construction exit, temporary sediment traps, temporary grassing, and permanent grassing shall be used to reduce pollutants in storm water discharges from the construction site.

30. A description and chart or timeline of the intended sequence of major activities which disturb soils for the major portions of the site (i.e., initial perimeter and sediment storage BMP's, clearing and grubbing activities, excavation activities, utility activities, temporary and final stabilization) is depicted on Sheet 2 of this plan.

31. Inspections:

Termination is submitted.

to EPD as specified in Part IV.E.

(f). The samples should be kept free from floating debris.

standard set forth in Parts III.D.3 or III.D.4, whichever is applicable.

36. The sampling locations are depicted on N/A of this plan.

a site size of N/A acres and a drainage basin < N/A square miles in a warm water fishery.

b. Sampling Points

PAGE 2 OF 8

PAGE 6 OF 8

a. Permittee requirements. (1). Each day when any type of construction activity has taken place at a primary permittee's site, certified personnel provided by the primary permittee shall inspect: (a) all areas at the primary permittee's site where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment and (b) all locations at the primary permittee's site where vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of

(2). Measure rainfall once every 24 hours except any non-working Saturday, non-working Sunday, and non-working Federal holiday until a Notice of Termination is submitted. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. N/A

(3). Certified personnel (provided by the tertiary permittee) shall inspect the following at least once every seven (7) calendar days and within 24 hours of the end of a storm that is 0.5 inches or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday, or any non-working Federal holiday, in which case the inspection shall be completed by the end of the next business day and/or working day, whichever comes first); (a) disturbed areas of the tertiary permittee's construction site; (b) areas used by the tertiary permittee for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the tertiary permittee's site shall be observed to ensure that they are operating correctly. Where discharge

water(e) and outfall(e). Samples taken for the purpose of compliance with this permit shall be representative of the monitored acti-

(a). The upstream sample for each receiving water(s) must be taken immediately upstream of the confluence of the first storm water

discharge from the permitted activity (i.e., the discharge farthest upstream at the site) but downstream of any other storm water discharges not associated permitted activity. Where appropriate, several upstream samples from across the receiving water(s) ma

discharge from the permitted activity (i.e., the discharge farthest downstream at the site) but upstream of any other storm water

water(s) may need to be taken and the arithmetic average of the turbidity of these samples used for the downstream turbidity water(s)

(e). Ideally the samples should be taken from the herizontal and vertical center of the receiving water(s) or the storm water outfor

(d). Care should be taken to avoid stirring the bottom sediments in the receiving water(s) or in the outfall storm water channel

mittees do not have to sample sheet flow that flows onto undisturbed natural areas or areas stabilized by the project. F

purposes of this section, stabilized shall mean, for unpaved areas and areas not covered by permanent structures and areas out.

the waste disposal limits of a landfill cell that has been certified by EPD for waste disposal, 100% of the soil surface is uniformly

covered in permanent vegetation with a density of 70% or greater, or landscaped according to the Plan (uniformly covered with

landscaping materials in planned landscape areas), or equivalent permanent stabilization measures as defined in the Manual

(h). All sampling pursuant to this permit must be done in such a way (including generally accepted sampling methods, locations

35. In accordance with Appendix B, the maximum NTU's from the outfall shall not exceed N/A-NTUs. The turbidity was selected for

timing, and frequency) as to accurately reflect whether storm water runoff from the construction site is in compliance with the

(excluding a crop of annual vegetation and a seeding of target crop perennials appropriate for the region).

need to be taken and the arithmetic average of the turbidity of these samples used for the upstream turbidity value.

and representative of the water quality of the receiving water(s) and/or the storm water outfalls using the following minimum

PAGE 4 OF 8

locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.a.(4) of Permit GAR 100003. These inspections must be conducted until a Notice of Termination is

(4). Certified personnel (provided by the primary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is received by EPD) the areas of the site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s).

(5). Based on the results of each inspection, the site description, and the pollution prevention and control measures identified in the Erosion, Sedimentation, and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following each inspection.

(6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate, or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.a.(5) of GAR 100003 shall be made and retained at the site or be readily available at a designated alternate location until the entire site or that portion of a construction project that has been phased has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation, and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2 of GAR 100003.

32. Sampling Frequency: N/A

(1). The primary permittee must sample in accordance with the Plan at least once for each rainfall event described below. For a qualifying event, the permittee shall sample at the beginning of any storm water discharge to a monitored receiving water and/or from a monitored outfall location within forty five (45) minutes or as soon as possible

<del>(2). However, where manual and automatic sampling are impossible (as defined in this permit), or are beyond</del>

area of the location selected as the sampling location:

(b). In addition to (a) above, for each area of the site that discharges to a receiving stream or from an outfall, the first rainevent that reaches or exceeds 0.5 inch with a storm water discharge that occurs du in this permit either 90 days after the first sampling event or after all mass grading operations have been so prior to submittal of a NOT, in the drainage area of the location selected as the san

37. This plan is phased into an initial sediment storage and perimeter control BMP plan, an intermediate grading and drainage BMP plan, and a final BMP plan as follows. Initial, Intermediate, and Final BMP's have been combined into a single lot typical erosion control plan, see Sheet 2.

38. This Plan addresses BMPs for individual building lots. A typical lot erosion control detail can be found on sheet 2 of this plan.

39. A graphic scale and north arrow are depicted on Sheet 1.

40. Existing and proposed contour lines are depicted on Sheet 1. Contour lines are drawn at an interval of 1'. The existing contour lines are based on topographic information from AutoCAD Infraworks 2019.

41. No alternate BMPs are proposed in this plan.

42. No alternate BMPs are proposed in this plan.

43. There is an existing 25' stream buffer for the unnamed tributary to Lake Tobesofkee. This buffer does not encroach on the

44. The lots are located within 200' of wetlands or state waters.

45. No hydrology study is required for tertiary permitees therefore no drainage basins have been delineated.

46. No hydrology report with drainage basins for the pro- and post developed conditions accompanies these plans. N/A

47. An estimate of the runoff coefficient or peak discharge flow of his site prior to and after construction activities are completed.

48. Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion. There are no storm drain outlets associated with this plan requiring outlet protection. Stormwater leaves the building site by overland sheet

49. Soil series and their delineation are depicted on Sheet 1 of this plan.

50. The limits of disturbance for the building site encompasses approximately 1.2 acres as depicted on Sheets 1.

51. 67 cubic yards of sediment storage per disturbed acre drained will be stored using a temporary sediment trap and/or silt fence. Sediment storage volume must be in place prior to and during all land disturbance activities until final stabilization of the site has been achieved. Sediment storage calculations are shown on Sheet 1 of this plan.

52. Best management practices depicted on Sheet 2 of this plan are consistent with the requirements of the *Manual for Erosion* and Sediment Control in Georgia. The legend for the BMP's can be found on Sheet 3 of this plan.

53. Detailed drawings for all structural practices are depicted on Sheets 3 of this plan. The installation of these practices must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.

54. A vegetative plan, noting temporary and permanent vegetative practices, is depicted on Sheet 5 of this plan.

OWNER (TERTIARY PERMITTEE) JESSICA A. EDMUNDS 4961 AYERS ROAD MACON, GA 31210 PHONE: (478) 972-1845 E-MAIL: jedmunds@mcarthurlawfirm.com

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C \ \ \ / C GEORGIA SOIL AND WATER

Russell R Wheeler Level II Certified Design Professional

CERTIFICATION NUMBER 0000052746 EXPIRES: 09/01/2020 ISSUED: 09/01/2017

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PROJECT NO.: PEP 001 DATE: APRIL 30, 2019 SCALE: 1" = 1'

tackifier, shall be used with hydraulic seeding on slopes 3/4:1 or steeper.

. Sericea lespedeza hay containing mature seed shall be applied at a rate of

5. Pine straw or pine bark shall be applied at a thickness of 3 inches for bedding

purposes. Other suitable materials in sufficient quantity may be used where

6. When using temporary erosion control blankets or block sod, mulch is not

applied within 24 hours after an area has been planted. Application rates and

7. Bituminous treated roving may be applied on planted areas on slopes, in

materials must meet Georgia Department of Transportation specifications.

Wood cellulose and wood pulp fibers shall not contain germination or growth

inhibiting factors. They shall be evenly dispersed when agitated in water. The

Straw or hay mulch will be spread uniformly within 24 hours after seeding

other spreading equipment or by hand. Mulch shall be applied to cover 75% of

Wood cellulose or wood fiber mulch shall be applied uniformly with hydraulic

Anchor straw or hay mulch immediately after application by one of the following

following mulch application when straw or hay is spread by methods other than

4. Emulsified asphalt can be (a) sprayed uniformly onto the mulch as it is

ibers shall contain a dye to allow visual metering and aid in uniform application

rnamentals or other ground covers are planted. This is not appropriate

for seeded areas.

during seeding.

seeding equipment.

Anchoring Mulch

Grading and Shaping

arading and shaping may not be required where hydraulic seeding and

rtilizing equipment is to be used. Vertical banks shall be sloped to enable plant establishment. When conventional seeding and fertilizing are to be done, grade and shape where feasible and practical, so that equipment can be used safely and

ncentrations of water that will cause excessive soil erosion shall be diverted to safe outlet. Diversions and other treatment practices shall conform with the ppropriate standards and specifications.

efficiently during seedbed preparation, seeding, mulching and maintenance of

Seedbed Preparation

seedbed preparation may not be required where hydraulic seeding and fertilizing equipment is to be used. When conventional seeding is to be used eedbed preparation will be done as follows

Proadcast plantings

. Tillage at a minimum, shall adequately loosen the soil to a depth of 4 to 6 nches; alleviate compaction; incorporate lime and fertilizer; smooth and fire he soil; allow for the proper placement of seed, sprigs, or plants; and allow for he anchoring of straw or hay mulch if a disk is to be used. Tillage may be done with any suitable equipment.

WITH PERMANENT VEGETATION)

when the soil is dry, preferably in August or September.

Hydraulic Seeding

Mix the seed (innoculated if needed), fertilizer, and wood cellulose or wood pulp fiber mulch with water and apply in a slurry uniformly over the area to be treated. Apply within one hour after the mixture is made.

Seeding will be done on a freshly prepared and firmed seedbed. For broadcast planting, use a cultipacker seeder, drill, rotary seeder, other mechanical seed or hand seeding to distribute the seed uniformly over the area to be treated. Cover the seed lightly with 1/8 to 1/4 inch of soil for small seed and 1/2 to 1 inch for large seed when using a cultipacker or other suitable equipment.

No-till seeding is permissible into annual cover crops when planting is done following maturity of the cover crop or if the temporary cover stand is sparse mough to allow adequate growth of the permanent (perennial) species. No-till seeding shall be done with appropriate no-till seeding equipment. The seed must be uniformly distributed and planted at the proper depth.

Shrubs, vines and sprigs may be planted with appropriate planters or hand tools. Pine trees shall be planted manually in the subsoil furrow. Each plant shall be set in a manner that will avoid crowding the roots. Nursery stock plants shall be planted at the same depth or slightly deeper than they grew at the nursery. The tips of vines and sprigs must be at or slightly above the ground surface. Where individual holes are dug, fertilizer shall be placed in the bottom of the hole, two inches of soil shall be added and the plant shall be set in the

3. Synthetic tackifiers or binders approved by GDOT shall be applied in conjunction with or immediately after the mulch is spread. Synthetic tackifiers shall be mixed and applied according to manufacturer's specifications. Refer to

 Tackifiers and Binders. 4. Rye or wheat can be included with Fall and Winter plantings to stabilize the mulch. They shall be applied at a rate of one-quarter to one half bushel per acre 5. Plastic mesh or netting with mesh no larger than one inch by one inch may be needed to anchor straw or hay mulch on unstable soils and concentrated flo areas. These materials shall be installed and anchored according to manufacturer's specifications.

Irrigation shall be applied at a rate that will not cause runoff.

## SEEDING RATES FOR PERMANENT SEEDING

,	SPECIES	RATE Per 1,000 sq.ft.	RATE Per Acre *	PLANTING DATES **					
	BAHIA	4.4 POUNDS	60 LBS.	1/1-12/31					
	BERMUDA	0.2 POUND	10 LBS.	2/15-7/1					
ŗ	CENTIPEDE	BLOCK SOD ONLY	BLOCK SOD ONLY	4/1-7/1					
	LESPEDEZA	4.7 POUNDS	75 LBS.	1/1-12/31					
	WEEPING LOVE GRASS	0.4 POUND	4 LBS.	2/1-6/15					
	SWITCH GRASS	0.9 POUND	40 LBS. 3/15-6/1						
	* Unusual site conditions may require heavier seeding rates  ** Seeding dates may need to be altered to fit temperature variations and conditions.								

nuous 90% cover or greater of the soil surface. tenance shall be required to maintain appropriate oth and 90% cover. Temporary vegetation may be ployed instead of mulch if the area will remain urbed for less than six months. If an area will remain isturbed for greater than six months, permanent etative techniques shall be employed.

ECIFICATIONS ULCHING WITHOUT SEEDING This standard applies to grades or cleared areas where seedings may not have a suitable growing season to oduce an erosion retardant cover, but can be stabilized

with a mulch cover. Grade to permit the use of equipment for applying and choring mulch.

> Loosen compact soil to a minimum depth of 3 inches. nches providing complete soil coverage. One advantage of

such as dikes, diversions, berms, terraces and sediment

his material is easy application. ULCHING ONLY) applied to provide full coverage of the exposed area. 1. Dry straw or hay mulch and wood chips shall be applied uniformly by hand or by mechanical equipment. If the area will eventually be covered with perennia vegetation, 20-30 pounds of nitrogen per acre in addition to the normal amount shall be applied to offset the uptake of nitrogen caused by the decomposition of the organic 3. Cutback asphalt shall be applied uniformly. Care should be taken in areas of pedestrian traffic due to problems of

'tracking in" or damage to shoes, clothing, etc. Apply polyethylene film on exposed areas Anchoring Mulch 1. Straw or hay mulch can be pressed into the soil with a disk harrow with the disk set straight or with a special "packer disk." Disks may be smooth or serrated and should be 20 inches or more in diameter and 8 to 12 inches apar The edges of the disk should be dull enough not to cut the

mulch but to press it into the soil leaving much of it in an erect position. Straw or hay mulch shall be anchored after application. Straw or hay mulch spread with special asphalt (Grade AE-5 or SS-4). The asphalt emulsion shall lect one of the following materials and apply at the depth be sprayed onto the mulch as it is ejected from the 400 gallons of emulsified asphalt and 400 gallons of water

> per ton of mulch. Tackifers and binders can be substituted for emulsified asphalt. Please refer to specification Th -Tackifers and Binders. Plastic mesh or netting with mesh no larger than one inch by one inch shall be installed according to manufacturer's specifications. 2. Netting of the appropriate size shall be used to anchor STABILIZATION (WITH wood waste. Openings of the netting shall not be larger than the average size of the wood waste chips. Polyethylene film shall be anchor trenched at the top a

> > well as incrementally as necessar;

OWNER (TERTIARY PERMITTEE) JESSICA A. EDMUNDS 4961 AYERS ROAD MACON, GA 31210 PHONE: (478) 972-1845 E-MAIL: jedmunds@mcarthurlawfirm.com

24 HOUR CONTACT JESSICA A. EDMONDS, Esq. PHONE: (478) 320-7443

A / GEORGIA SOIL AND WATER

Russell R Wheeler

Level II Certified Design Professional 0000052746

CERTIFICATION NUMBER\_ ISSUED: 09/01/2017 EXPIRES: 09/01/2020

PROJECT NO.: APRIL 30, 2019 SCALE:

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OP ID: BC

ACORD

### CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 06/13/2019

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed.

	SUBROGATION IS WAIVED, subject his certificate does not confer rights t		cert	ificate holder in lieu of su	ıch end	dorsement(s)	).	•	t. A	statement on
PRO	DUCER and, Abbott, & DeZoort Ins.		478	3-746-7332	NAME:	CT William	Sean DeZo	ort		
398	5 ARKWRIGHT RD., STE 103				PHONE (A/C, No, Ext): 478-746-7332 FAX (A/C, No): 478-746-735					746-7359
MA	CON, GA 31210 liam Sean DeZoort				E-MAIL ADDRE	<sub>ss:</sub> sdezoor	t@dezoorti	ns.com		
VVIII	nam Sean Dezoort					INS	URER(S) AFFOR	DING COVERAGE		NAIC#
					INSURE	R A : CINCIN	INATI INSU	RANCE CO		10677
INSU	JRED				INSURE	R B : NCCI-G	EORGIA			
RDO	JRED 5 VENTURES LLC AN GRIFFIN BOX 27838				INCUIDE	DONE	AL INSUR	ANCE GROUP		22586
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	HIS IS TO CERTIFY THAT THE POLICIES NDICATED. NOTWITHSTANDING ANY R									
	ERTIFICATE MAY BE ISSUED OR MAY									
	XCLUSIONS AND CONDITIONS OF SUCH				BEEN I					
INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER		POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMIT	s	
С	X COMMERCIAL GENERAL LIABILITY							EACH OCCURRENCE	\$	1,000,000
	CLAIMS-MADE X OCCUR			CPA8973798		07/15/2019	07/15/2020	DAMAGE TO RENTED PREMISES (Ea occurrence)	\$	100,000
								MED EXP (Any one person)	\$	5,000
								PERSONAL & ADV INJURY	\$	1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:							GENERAL AGGREGATE	\$	2,000,000
	POLICY PRO-									2,000,000
								PRODUCTS - COMP/OP AGG	\$	
Α	OTHER:							COMBINED SINGLE LIMIT	\$	1,000,000
^	AUTOMOBILE LIABILITY			ED 4 005-00-		0=11=10010	0=11=10000	(Ea accident)	\$	1,000,000
	X ANY AUTO			EBA 0357267		07/15/2019	07/15/2020	BODILY INJURY (Per person)	\$	
	OWNED AUTOS ONLY SCHEDULED AUTOS							BODILY INJURY (Per accident)	\$	
	HIRED AUTOS ONLY NON-OWNED AUTOS ONLY							PROPERTY DAMAGE (Per accident)	\$	
									\$	_
	UMBRELLA LIAB OCCUR							EACH OCCURRENCE	\$	
	EXCESS LIAB CLAIMS-MADE							AGGREGATE	\$	
	DED RETENTION \$								\$	
В	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY							X PER OTH-		
	Y/N			TARGA1006556-01		11/04/2018	11/04/2019	E.L. EACH ACCIDENT	\$	1,000,000
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	N/A						E.L. DISEASE - EA EMPLOYEE		1,000,000
	If yes, describe under DESCRIPTION OF OPERATIONS below							E.L. DISEASE - POLICY LIMIT	φ	1,000,000
	DESCRIPTION OF OPERATIONS DEIOW							E.L. DISEASE - POLICY LIMIT	a -	
DES	CRIPTION OF OPERATIONS / LOCATIONS / VEHIC	LES (	ACORI	D 101, Additional Remarks Schedu	ile, may b	e attached if mo	re space is requi	red)		
CF	RTIFICATE HOLDER				CANO	CELLATION				
<u> </u>	······································				<u> </u>					
					SHC	OULD ANY OF	THE ABOVE D	ESCRIBED POLICIES BE C	ANCE	LLED BEFORE
	NATE & JESSICA EDMO	NDS						EREOF, NOTICE WILL	BE C	ELIVERED IN
					I ACC	OKDANCE WI	IIH IHE POLIC	CY PROVISIONS.		

AUTHORIZED REPRESENTATIVE William Sean DeZoort